

85 01841

COUNCILMEMBER GILDA FELLER  
Civic Center Building  
2180 Milvia Street  
Berkeley, Calif. 94704

RENTAL HOUSING CONSTRUCTION PROGRAM

City of Berkeley, California

OUTLINE SPECIFICATIONS

PRELIMINARY COST ESTIMATE

January 1982

**HK ARCHITECTS**  
HARRY K. LIM & ASSOCIATES

2972 ADELINE STREET  
BERKELEY CA. 94703  
TEL. (415) 845-7455





DIVISION 1 GENERAL REQUIREMENTS

01000 General Conditions

01300 Temporary Utilities

1. Temporary water and electrical hook-ups during construction
2. Portable toilet facilities placed at approved locations
3. Completely remove temporary facilities upon completion of work.

01700 Project Closeout

1. Project Record Drawings
2. Substantial Completion and Final Inspection
3. Closeout Submittals
4. Post Construction Inspection (on or before one year from date of Final Acceptance)

DIVISION 2 SITE WORK

02110 Clearing and Grubbing

1. Clearing of vegetation, stumps, roots, debris and miscellaneous incidentals
2. Off-site disposal of all excess material

02221 Earthwork

1. Excavating and backfilling including site preparation, trenching and backfilling for the installation of pipes and conduits, rough grading of all areas disturbed by construction, hauling and stockpiling surplus excavated material and topsoil
2. Slabs: excavate minimum of 6" below underside of slab and backfill with granular fill
3. Drains at footing and location of downspouts. Rough grade to drain away from structure

02610 Asphaltic Concrete Pavement

1. Install at parking areas 2" AC over 4" granular fill

02660 Curbs and Gutters

1. Install curb cuts - 20 linear feet per site

02670 Sidewalks and Concrete Finishes

1. 4" concrete at pedestrian walks, patio areas and street sidewalk

02700 Fencing and Landscaping

1. Install wood fence 4' high
2. Planting to be low maintenance shrubs, groundcover and trees
3. Irrigation provided from hose bibb at building

DIVISION 3 CONCRETE

03300 Concrete

1. Minimum Compressive Strength:  
Building slabs and footings: 3,000 psi at 28 days  
Concrete walks : 2,500 psi at 28 days
2. Slab on grade: 4" concrete with wire mesh reinforcing (6"x6"x#9); 2" sand, 5 mil polyethelene vapor barrier; 4" granular fill
3. Footings: continuous concrete footings at bearing walls and building perimeters; 15" wide x 8" deep with two #4 reinforcing bars; top of footing 2'-0" below grade
4. Finish: wood float finish at all exposed surfaces and building slabs.

DIVISION 4 MASONRY

NOT USED

DIVISION 5 METALS

NOT USED

DIVISION 6 CARPENTRY

06100 Rough Carpentry

1. Framing Lumber: Douglas Fir (DF)
2. Sill Plates : Redwood or pressure treated DF
3. Walls: 2 x 4 at 24" O.C.  
Floors: Bar Joist; 22' max. span at 24" O.C. with 3/4" plywood subfloor  
Roof : Pre-fabricated wood trusses at 24" O.C.; single span with 3/8" pluwood sheathing

06200 Finish Carpentry

1. Exterior Siding:  $\frac{1}{2}$ " hardboard lap siding
2. Exterior Trim : Redwood
3. Interior Trim : Douglas Fir
4. Shelving : Particle board

## DIVISION 7 THERMAL AND MOISTURE PROTECTION

### 07200 Thermal and Sound Insulation

1. Roof: R-19 Blown Fiberglass - 6"
2. Exterior Walls: R-11 Fiberglass Batt - 3½"
3. Soffits at second floor: R-19 Fiberglass Batts - 6"
4. Weatherstrip at all exterior doors and windows
5. Party Walls: 52 STC rating  
2 x 4 studs at 24" O.C. with resilient  
furring channels at 24" O.C. on one side;  
3½" Fiberglass Batt Insulation; 5/8" Gypsum  
Wallboard each side - attach with 1" Type S  
screws at channels and nailed at studs;  
perimeter caulking

### 07311 Asphalt Shingles

1. Asphalt Shingles: Square tab butt strip shingles; ASTM D-225  
Type 1 Class C self sealing; 240# per  
square; 20 year material guarantee;  
10 year workmanship guarantee
2. Nails: 10 gage galvanized steel screw threaded shank

### 07600 Sheet Metal

1. Gutters: Prefabricated galvanized iron 4" OG, STD
2. Downspouts: Prefabricated galvanized iron 2 x 3 STD
3. Flashing : Galvanized iron 26 gage at ridges and perimeters

### 07900 Caulking and Sealants

1. Install at perimeter of all exterior doors, windows and  
vent openings
2. Silicone rubber or Polysulfide or Butyl based composition

## DIVISION 8 DOORS, WINDOWS AND GLASS

### 08200 Doors

1. Exterior doors: 1-3/4" solid core masonite, 3'-0" x 6'-8"  
Interior doors: 1-3/8" hollow core masonite, 6'-8" high
2. Door frames: Solid stock Douglas Fir
3. Vanners: Paint grade hardwood

### 08520 Aluminum Windows and Sliding Glass Doors

1. Sliding aluminum windows - anodized bronze - double glazed
2. Sliding glass doors - anodized bronze - double glazed

### 08710 Finish Hardware

1. Exterior Door: 1½ pair butt hinges  
1 cylindrical lockset - 5 pin  
1 threshold  
1 door stop

2. Interior doors: 1½ pair butt hinges  
1 lockset with no lock  
1 door stop

## DIVISION 9 FINISHES

09250 Gypsum Wallboard

1. Walls: ½"; 8' panels  
Party Walls: 5/8"; 8' panels  
Bathroom walls: 5/8" water resistant; 8' panels  
Ceilings : 5/8"; 8' panels
2. Tape and compound at all joints and edges

09650 Resilient Flooring

1. Vinyl Asbestos Tile at kitchen, dining, living and bathroom areas; 1/16" standard

09900 Painting

1. Exterior  
Siding : Factory primed; 1 coat latex enamel  
Trim : 1 prime coat; 1 finish coat latex enamel  
Doors : Factory primed; 1 coat latex enamel
2. Interior  
Walls and Ceilings : 1 prime coat, 1 finish coat latex flat; egg shell finish  
Bathrooms and Kitchens: 1 prime coat, 1 finish coat latex enamel semi-gloss  
Cabinets : Pre-finished

09910 Laminated Plastics

1. Countertops at kitchen and bathroom

## DIVISION 10 SPECIALTIES

10500 Building Specialties

1. Kitchen appliances:  
Refrigerator: Hot Point CTF17EB Frost Free  
Cooktop and Oven : Gas operated Tappan 31-1268-10 Pilotless  
Hood: 30" Broan 4200 Medallion; 190 CFM with 7" round duct
2. Skylights  
2'-0" x 6'-0" double dome with anodized aluminum frame;  
total 6

## DIVISION 11 EQUIPMENT

NOT USED

DIVISION 12 FURNISHINGS

12400 Carpets

Carpeting at all bedrooms, stairs and halls; 20 oz. nylon with pad

12500 Draperies and Curtains

DIVISION 13 SPECIAL CONSTRUCTION

NOT USED

DIVISION 14 CONVEYING SYSTEMS

NOT USED

DIVISION 15 MECHANICAL

15400 Plumbing

1. Sanitary Sewer Connection: 1 per site

2. Water meter: 1 per unit and 1 house meter per site; total 19

3. Gas meter : 1 per unit

4. Type 'L' copper plumbing above ground

5. Rough-in plumbing at washer and drier

6. Fixtures

Bathtub: prefabricated fiberglass enclosure; 14 total

Shower : prefabricated fiberglass enclosure 3' x 3' x6' high;  
6 total

Toilet : American Standard Cadet water saver; 20 total

Kitchen sink: Stainless steel 22" x 25"

Lavatory: American Standard Ovalyn at Bathroom 1; 14 total

American Standard Ledgewood at handicapped Bath; 6 total

15800 Heating and Ventilating

One gas fired wall heater per unit; 35,000 Btu

DIVISION 16 ELECTRICAL

16400 Electrical

1. Metering: 1 per unit and 1 house meter per site; total 19

2. Service: 100 Amp 120/240 single phase with circuit breakers;  
overhead service

3. Duplex receptacles: 15A, 125V-3W GRD; provide groundfault  
interrupter with cover receptacle  
outdoors

4. Switches

5. Light Fixtures



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BERKELEY RENTAL HOUSING CONSTRUCTION PROGRAM

Preliminary Cost Estimates - for five (5) sites

Site Work	\$22,300
Conc.	30,000
Misc. Metals	2,000
Rough Carpentry	213,000
Finish Carpentry	52,000
Roofing	14,500
Insulation	10,330
Gutters/Flashing	6,000
Doors/Windows	24,000
Finish Hardware	7,000
Gypsum Wallboard	28,000
Flooring (V.A.T.)	5,800
Carpeting	6,500
Painting	34,000
Kitchen Appliance	13,400
Drapery	7,000
Plumbing	57,700
Water meters	15,200
Electric	54,200
Heating	64,000

Temporary Facilities 5,000

Sub Total	\$672,640 *
10% contingency	67,264
	<hr/>
	\$739,904 *

Profit (10%)	73,990
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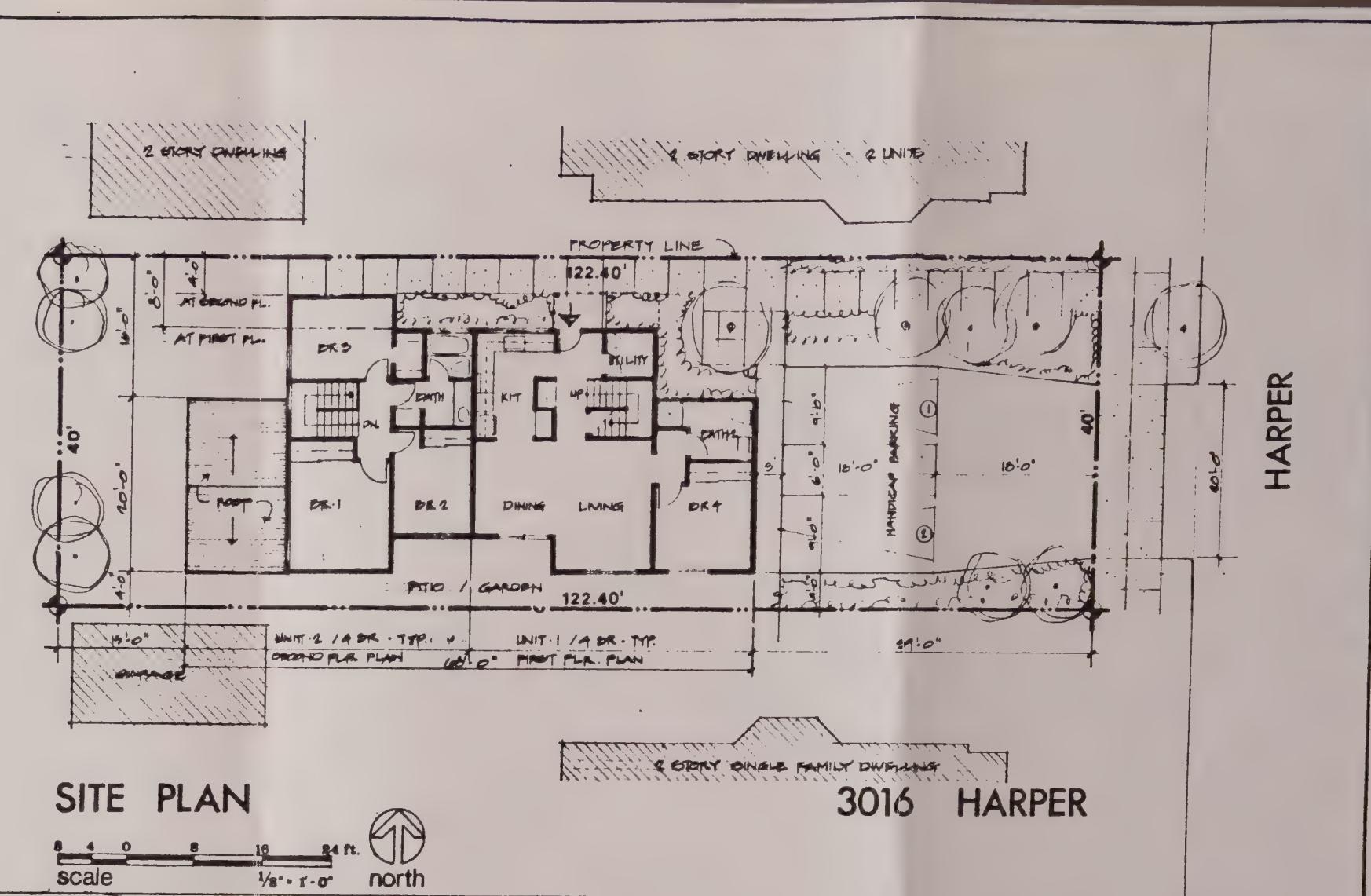
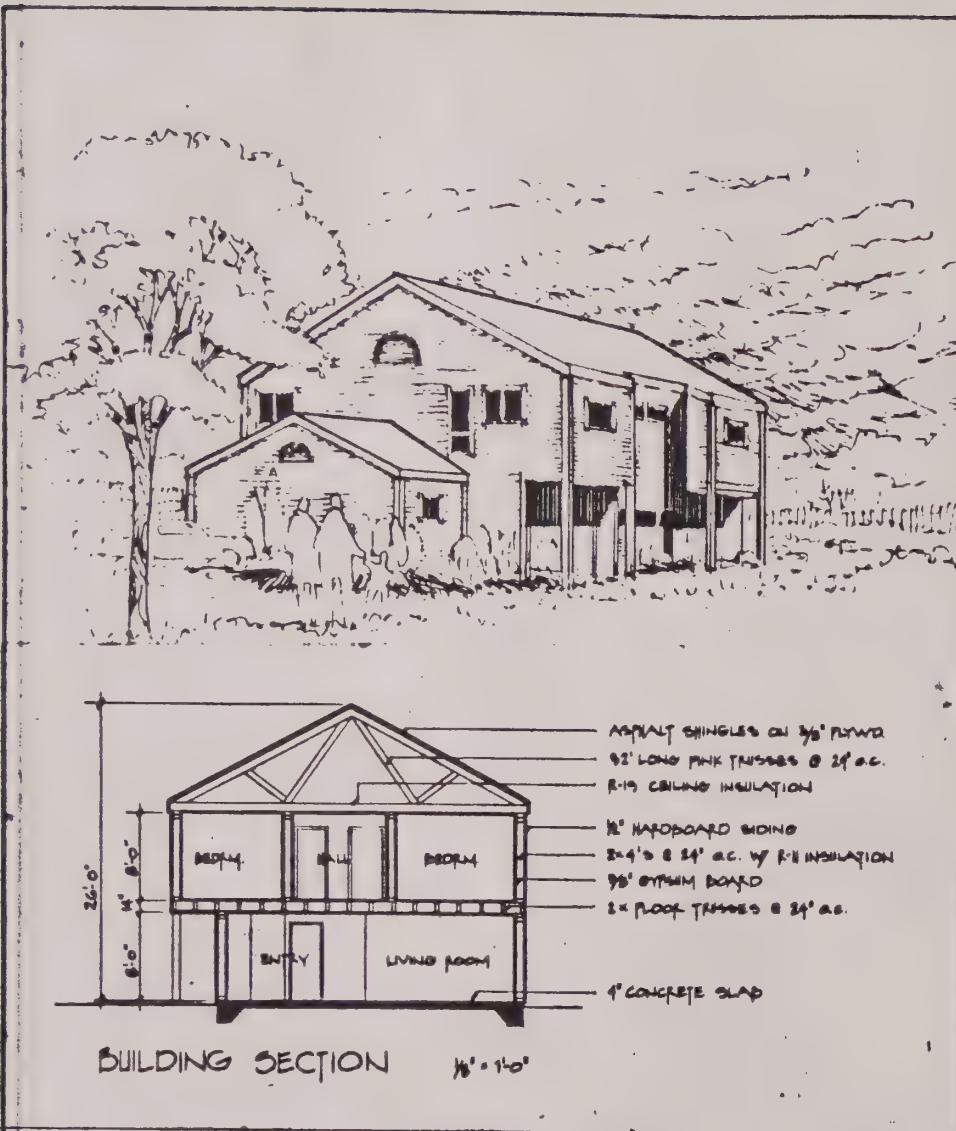
Bonding (1%)	7,399
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Grand Total	\$821,293 * Construction Cost
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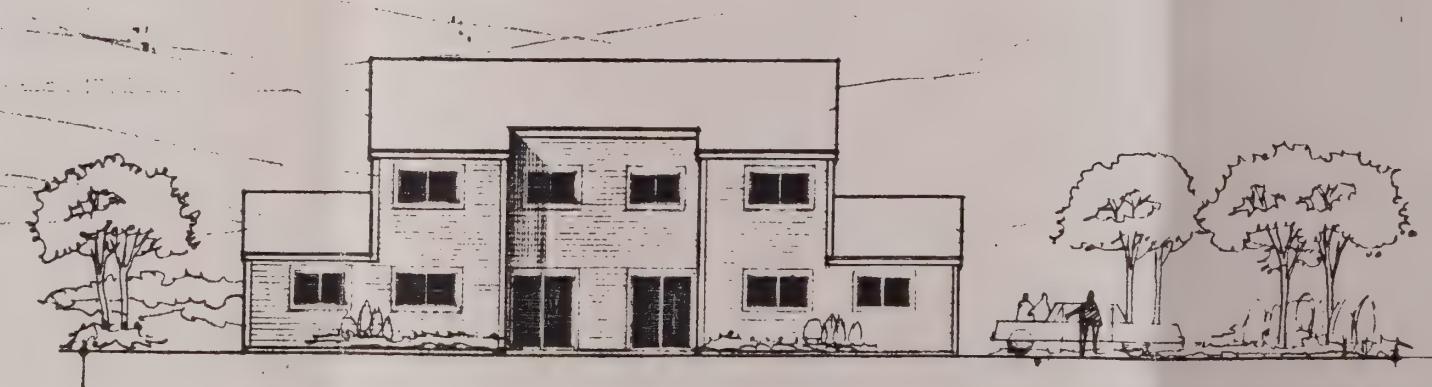




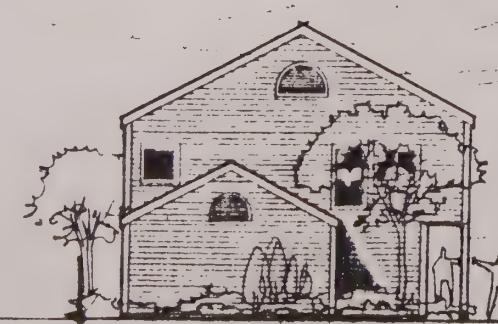




WEST ELEVATION



**SOUTH ELEVATION**



## DISCUSSION



**WORTH & ELEVATION**



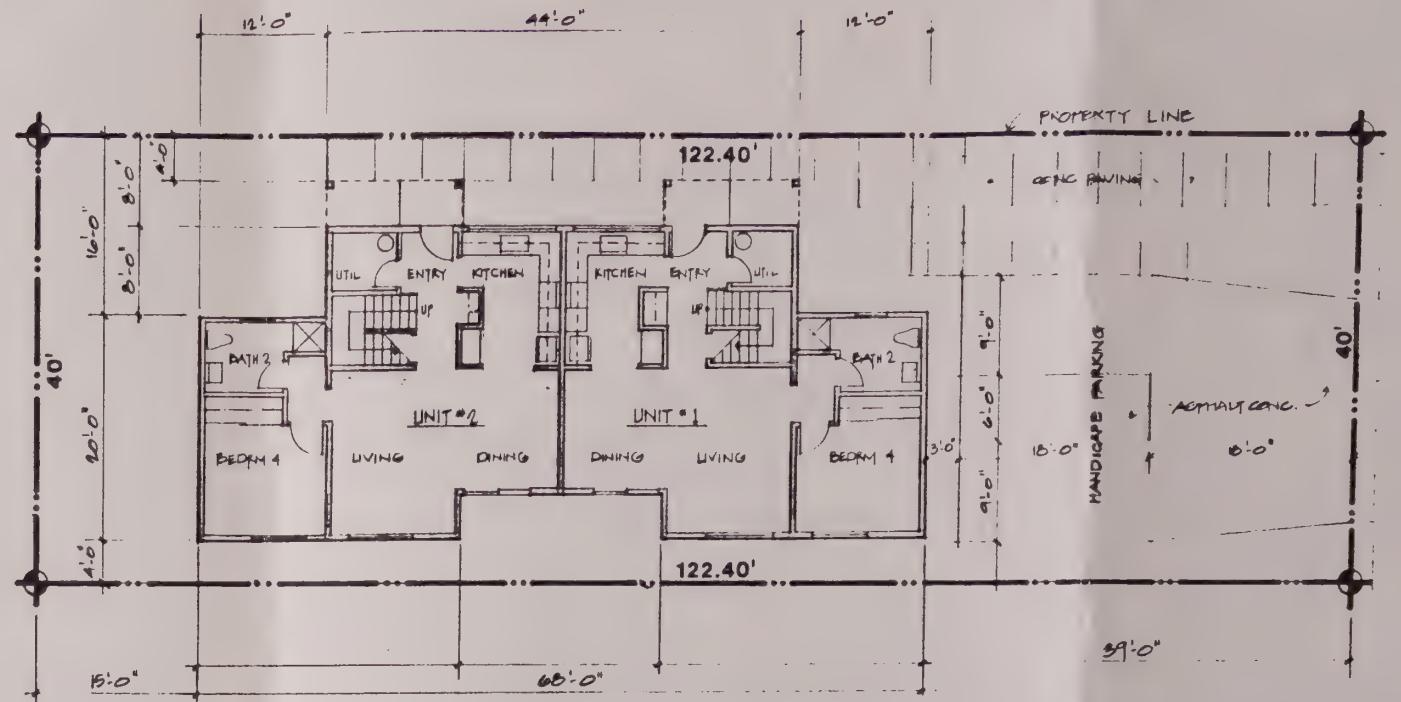
REVISIONS

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City of Berkeley

Housing Construction Program

HARPER



**FIRST FLOOR PLANS  
SITE PLAN**

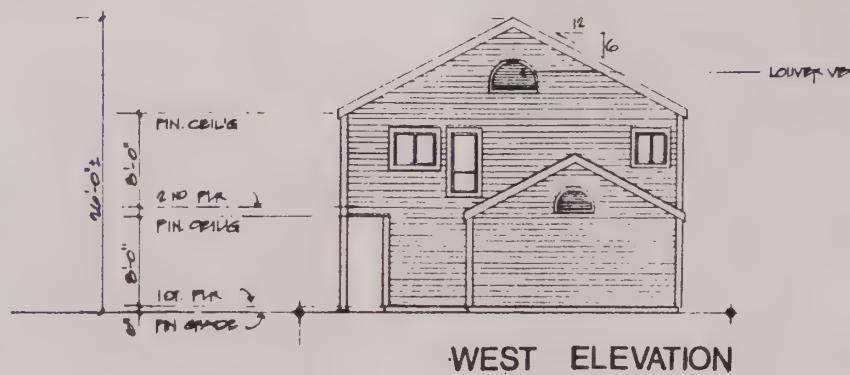
3016 HARPER

scale

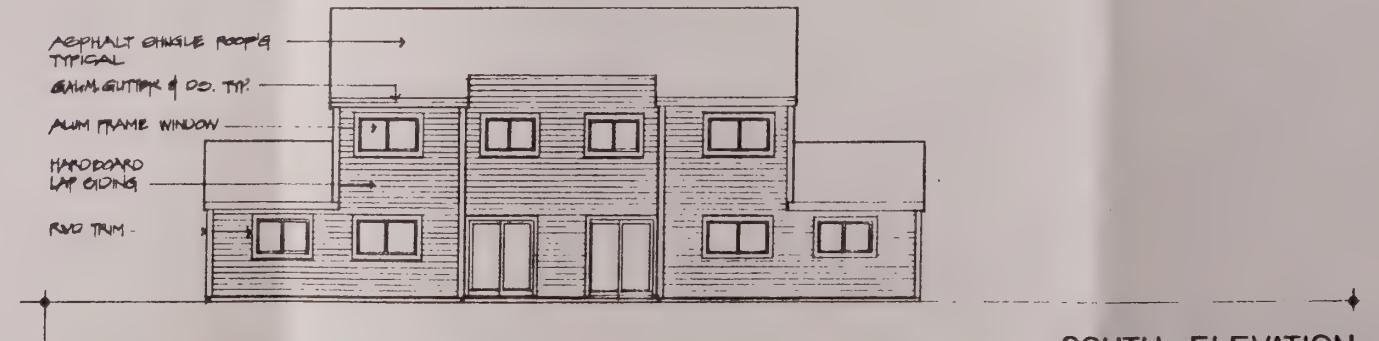
8 4 0 8 16 24 ft.

$\frac{1}{8}'' = 1'-0''$

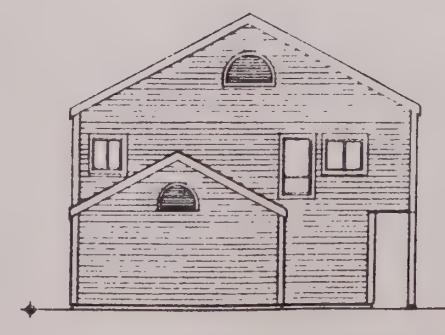
North



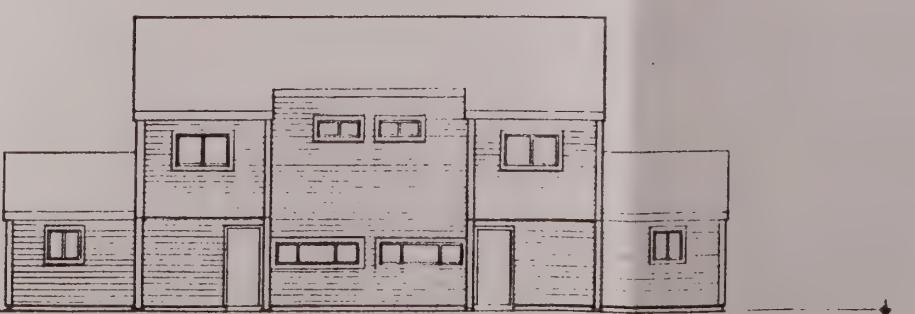
WEST ELEVATION



**SOUTH ELEVATION**

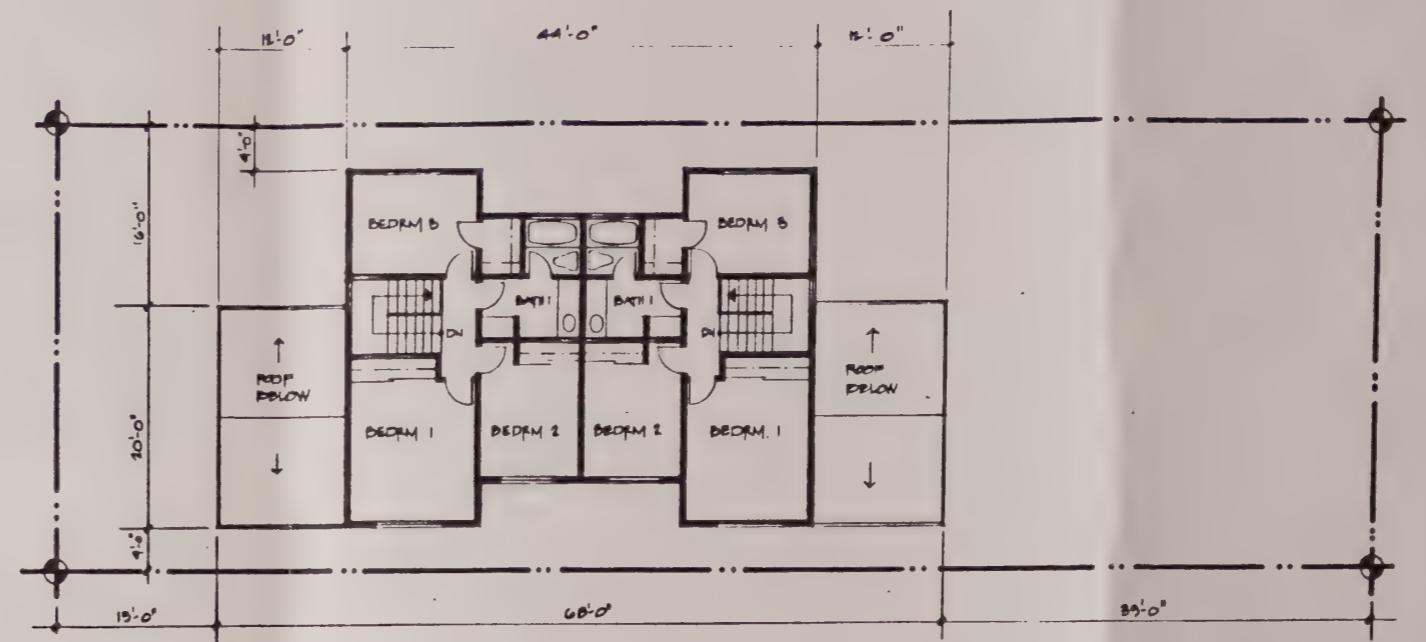


EAST ELEVATION



**NORTH ELEVATION**





## SECOND FLOOR PLANS

A scale bar with markings at 0, 4, 8, 10, and 24 ft. Below the bar is the word "scale". To the right is the fraction  $\frac{1}{8}'' = 1 - 0'$ .



3016 HARPER



City of Berkeley

## Rental Housing Construction Program

HARRY K. LIM - ARCHITECT & ASSOCIATES  
2972 ADELIE STREET, BERKELEY CA 94702 (415) 845-7455

第十一章

E-34  
12-1-62  
1-6-62  
3

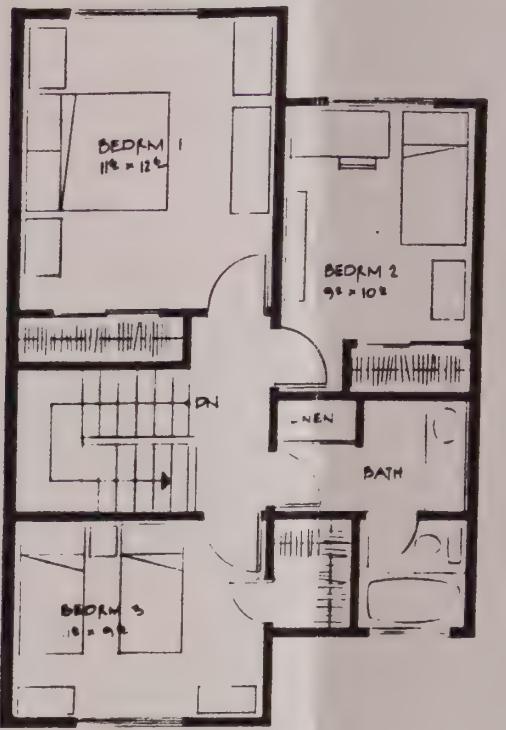




City of Berkeley

Mental  
Housing  
Construction  
Program

3016 HARPER



SECOND FLOOR PLAN - TYP.



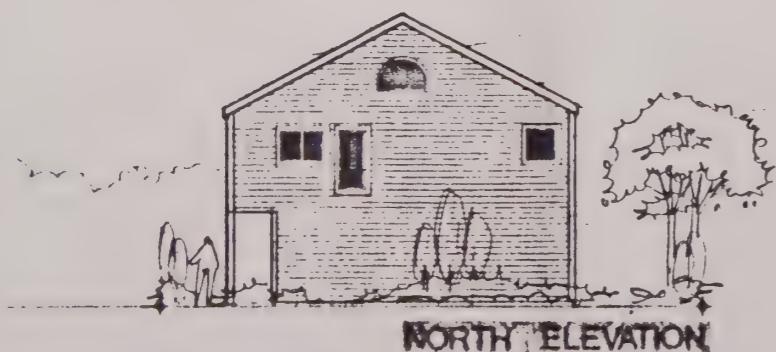
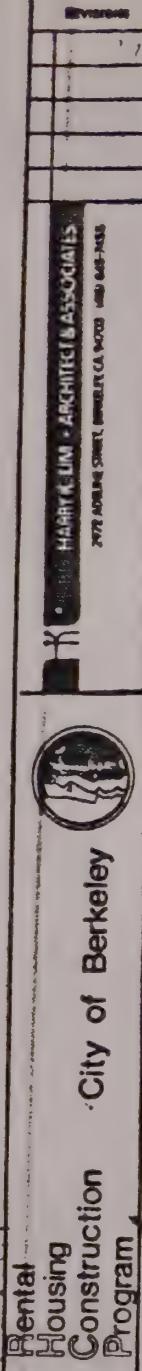
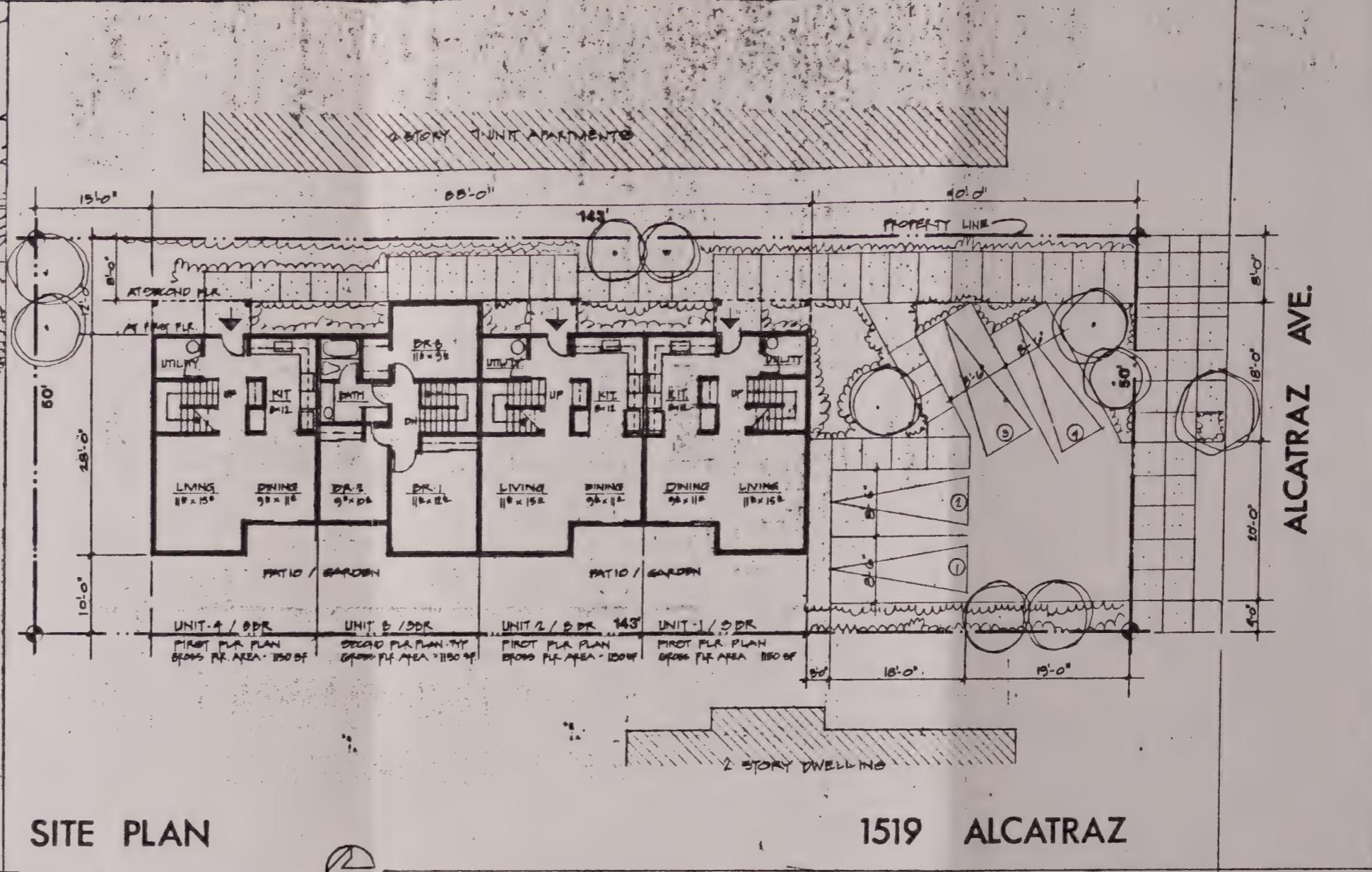
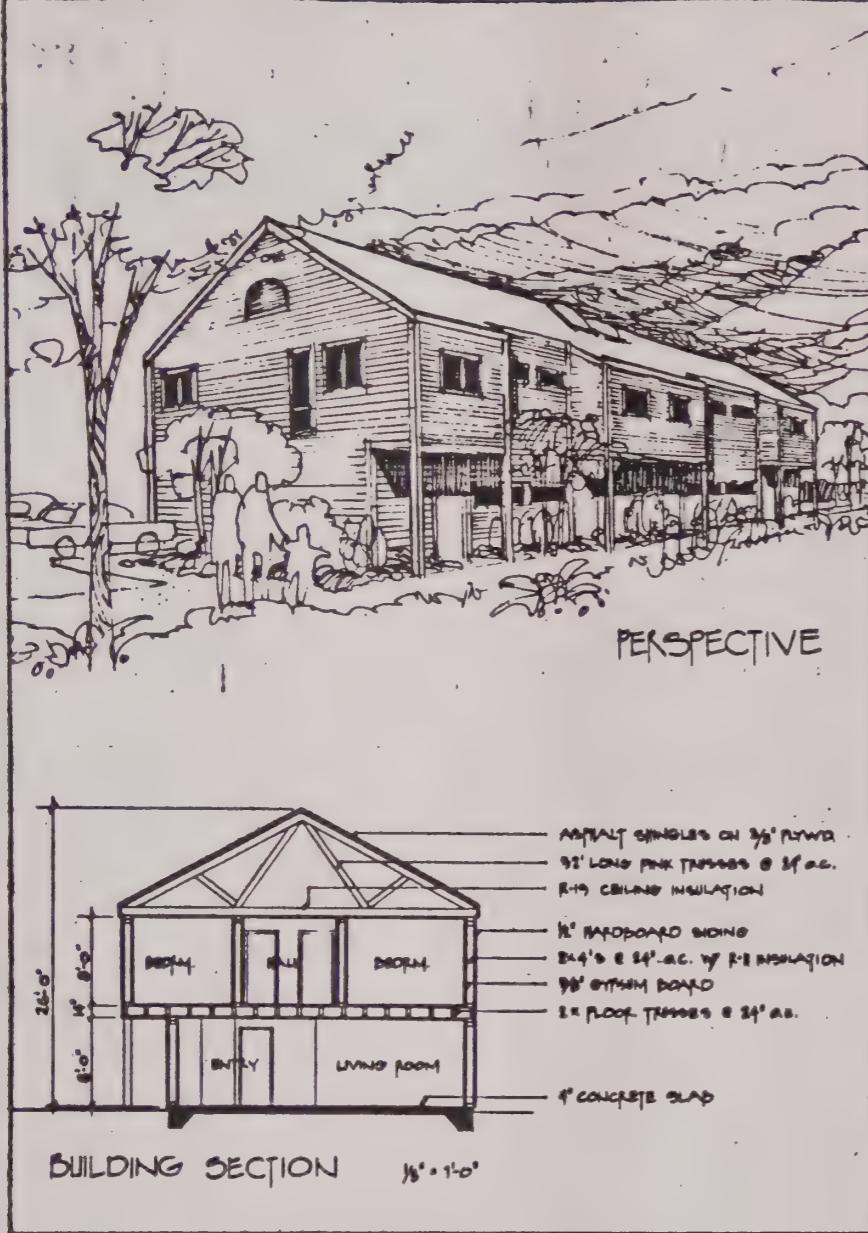
FIRST FLOOR PLAN - 4 BR UNIT - TYP.

SCALE: 1/4"=1'-0"

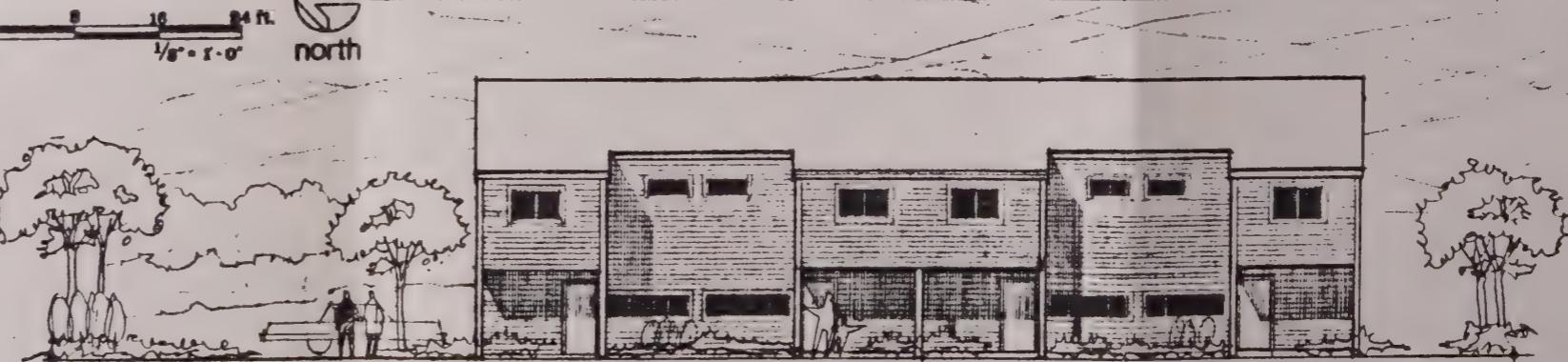
UNIT #2. UNIT #1 OFF. HAND  
GROSS AREA: 1075 S.F./UNIT0134  
1/4"=1'-0"  
1-6-82  
Sheet

4

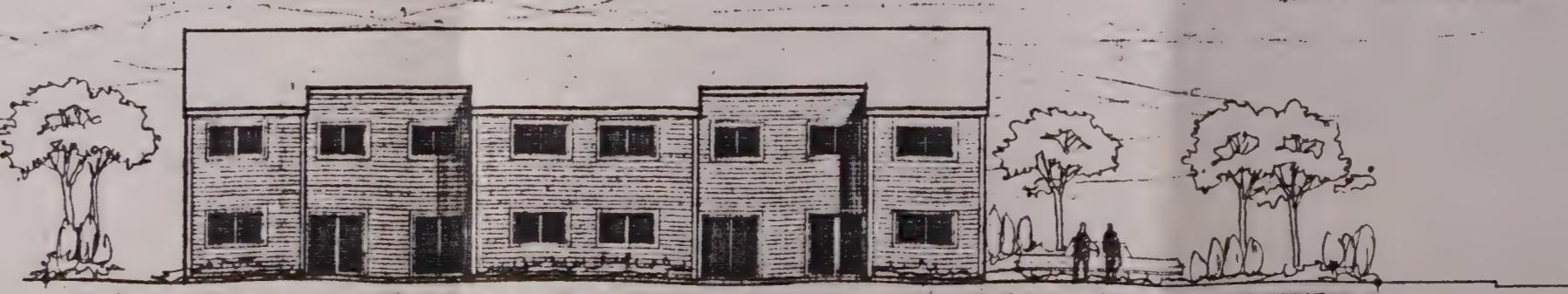




## NORTH ELEVATION



**EAST ELEVATION**

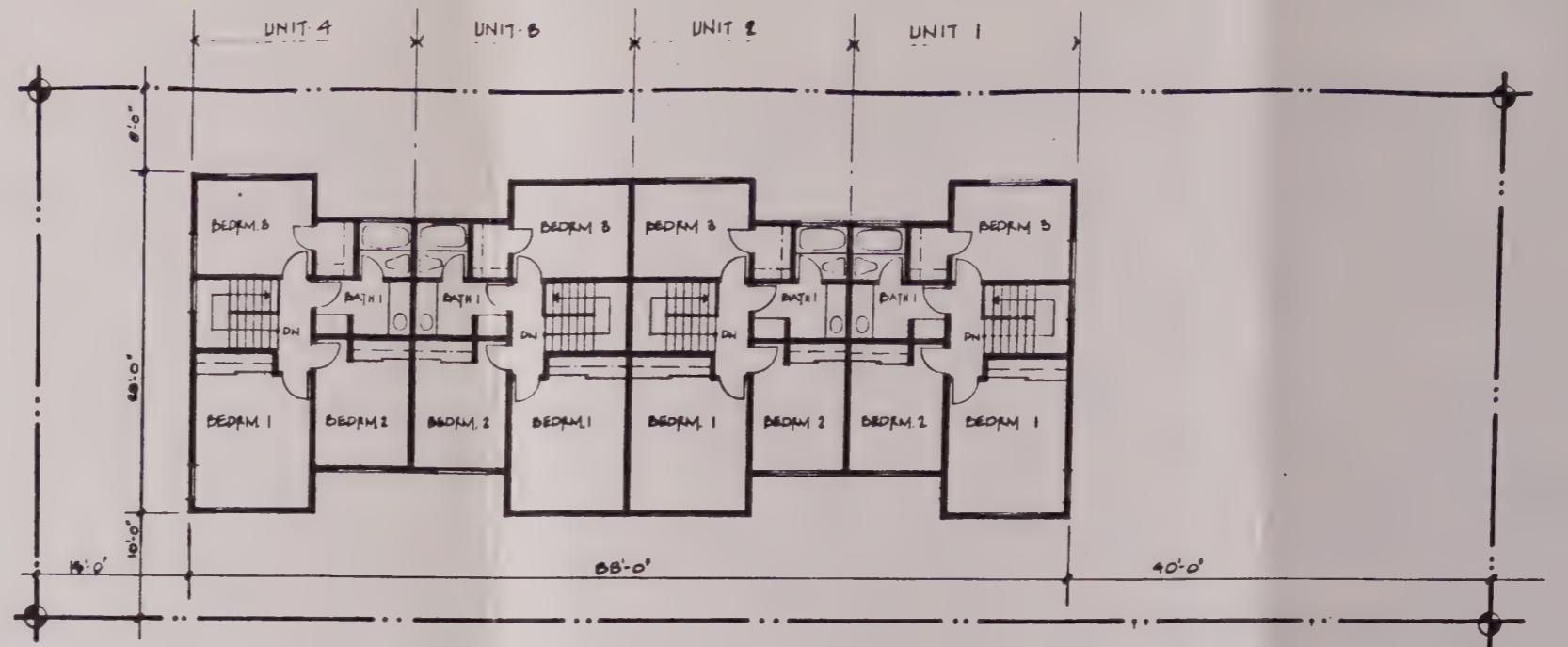


## SOUTH ELEVATION









SECOND FLOOR PLANS

scale  
1/8" = 1'-0"



1519 ALCATRAZ

Rental  
Housing  
Construction  
Program

City of Berkeley

HARRY K LIM - ARCHITECT & ASSOCIATES  
2922 Adeline Street, Berkeley, California 94703  
REVISIONS



HARRY K. LIM ARCHITECT & ASSOCIATES

2972 ADOLINE ST. BERKELEY CA 94703 (415) 645-7455



City of Berkeley

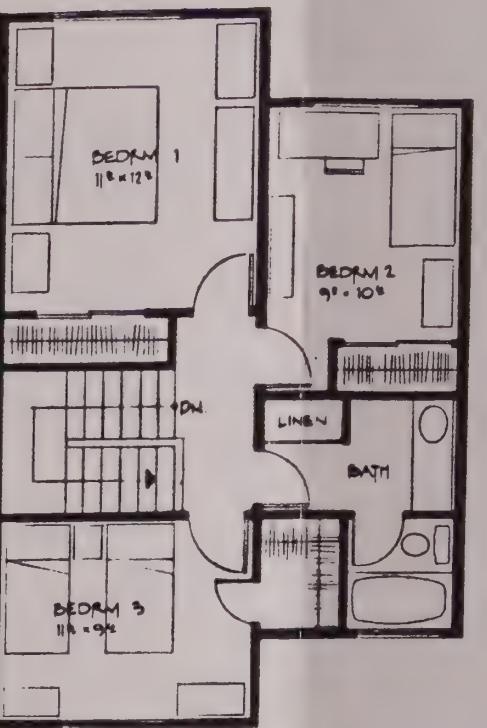
Rental  
Housing  
Construction  
Program

1519 ALCATRAZ

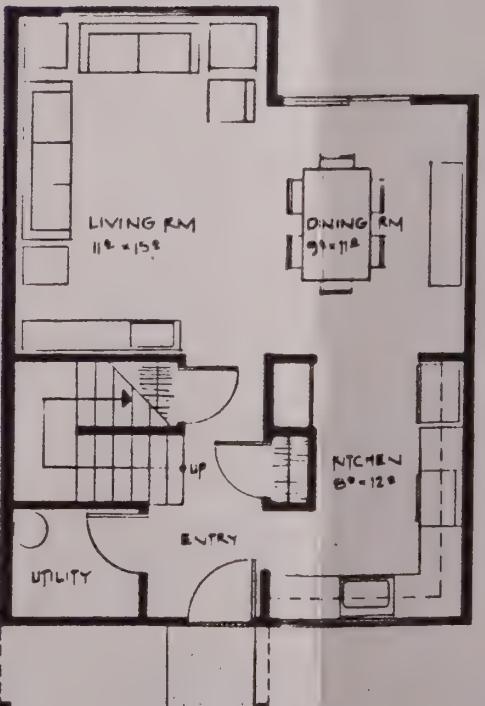
8134

1-6-82

4



SECOND FLOOR PLAN - TYP.



FIRST FLOOR PLAN - 3 BR. UNIT - TYP.

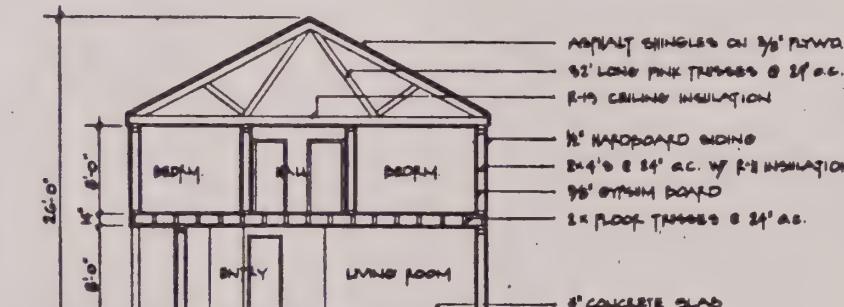
SCALE:  $\frac{1}{4}$ " = 1'-0"

UNITS #294  
UNITS #195 OFF. HAND  
GROSS AREA: 1150 S.F./UNIT

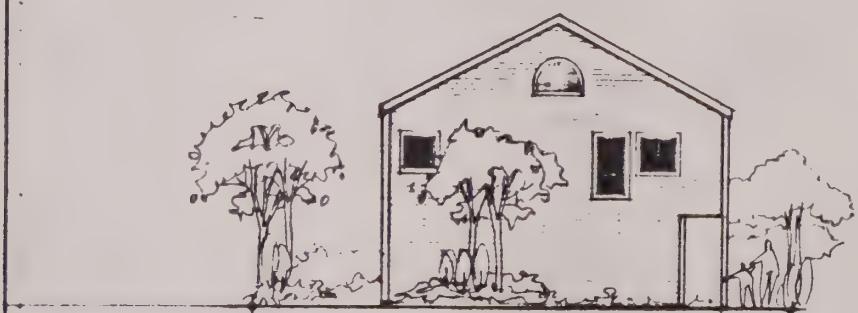




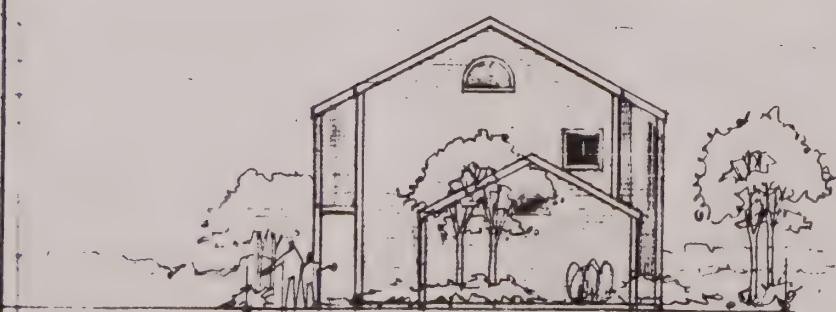
PERSPECTIVE



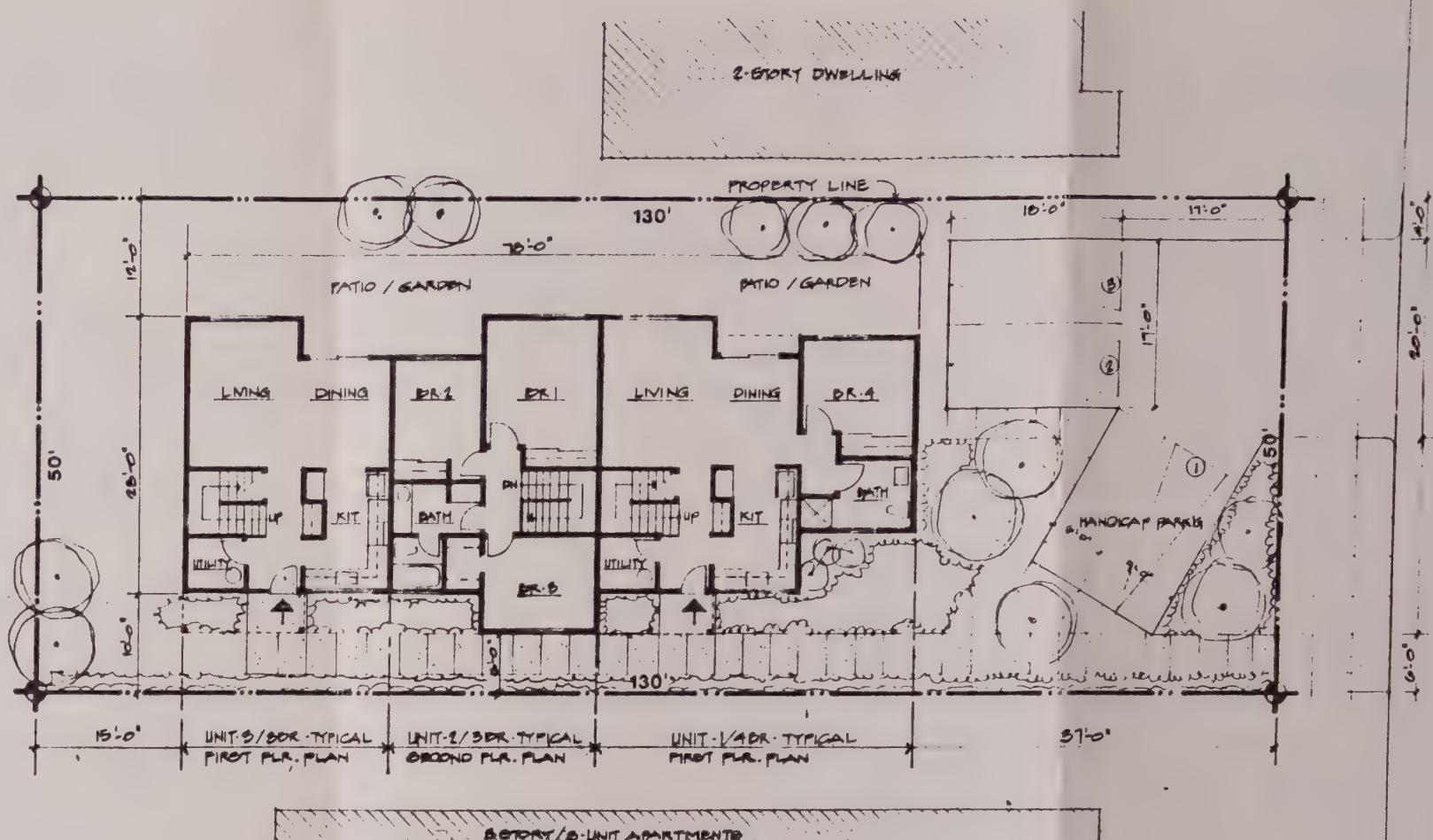
BUILDING SECTION 16'-10"



**SOUTH ELEVATION**



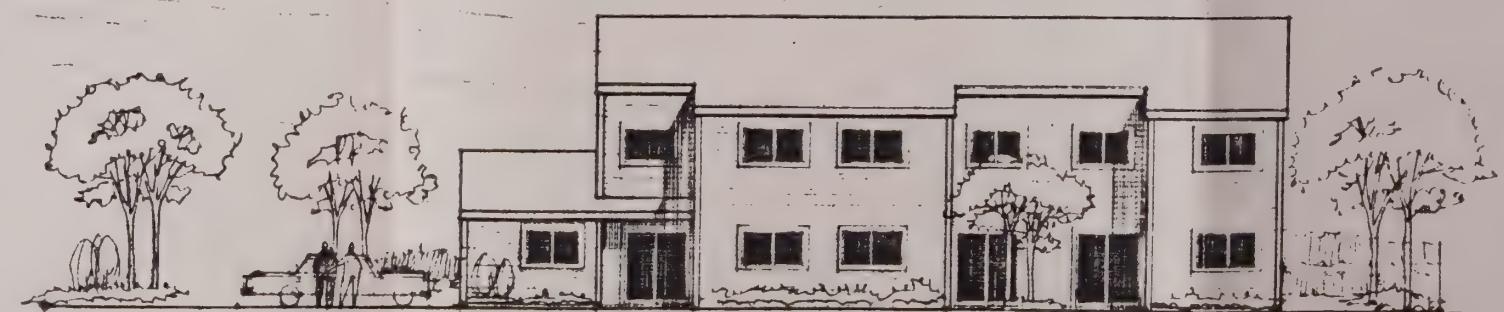
NORTH ELEVATION



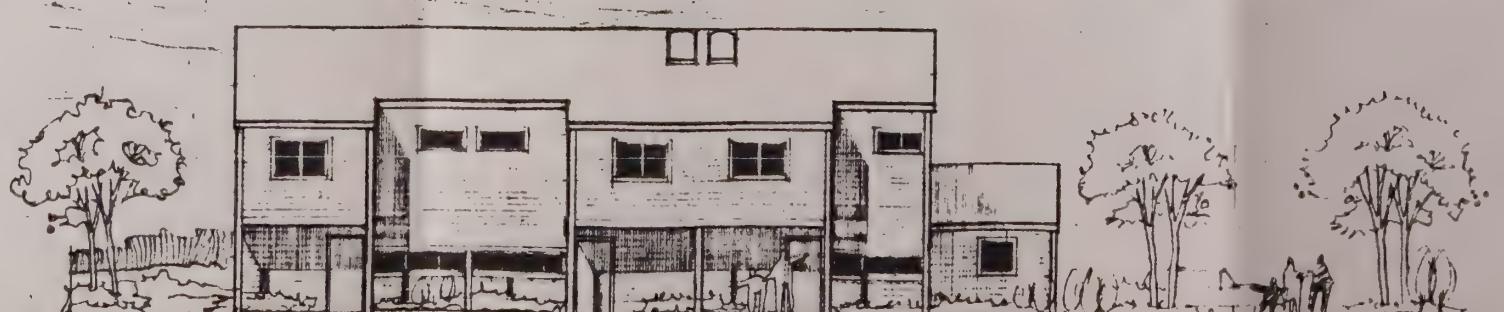
## SITE PLAN

A horizontal scale bar with tick marks at 8, 16, and 24 ft. The word "scale" is written below it, and "1/8 = 1'-0"" is written to its right.

1812 FAIRVIEW



**WEST ELEVATION**



### EAST ELEVATION

acc	0134
date	16-1-0
exposure	
date	12-28-81

1

2012 AGILE SURVEY REPORT | CLOUD COMPUTING

A small, circular decorative element located at the top right of the page, featuring a stylized design.

City of Berkeley

## **Rental Housing Construction Program**



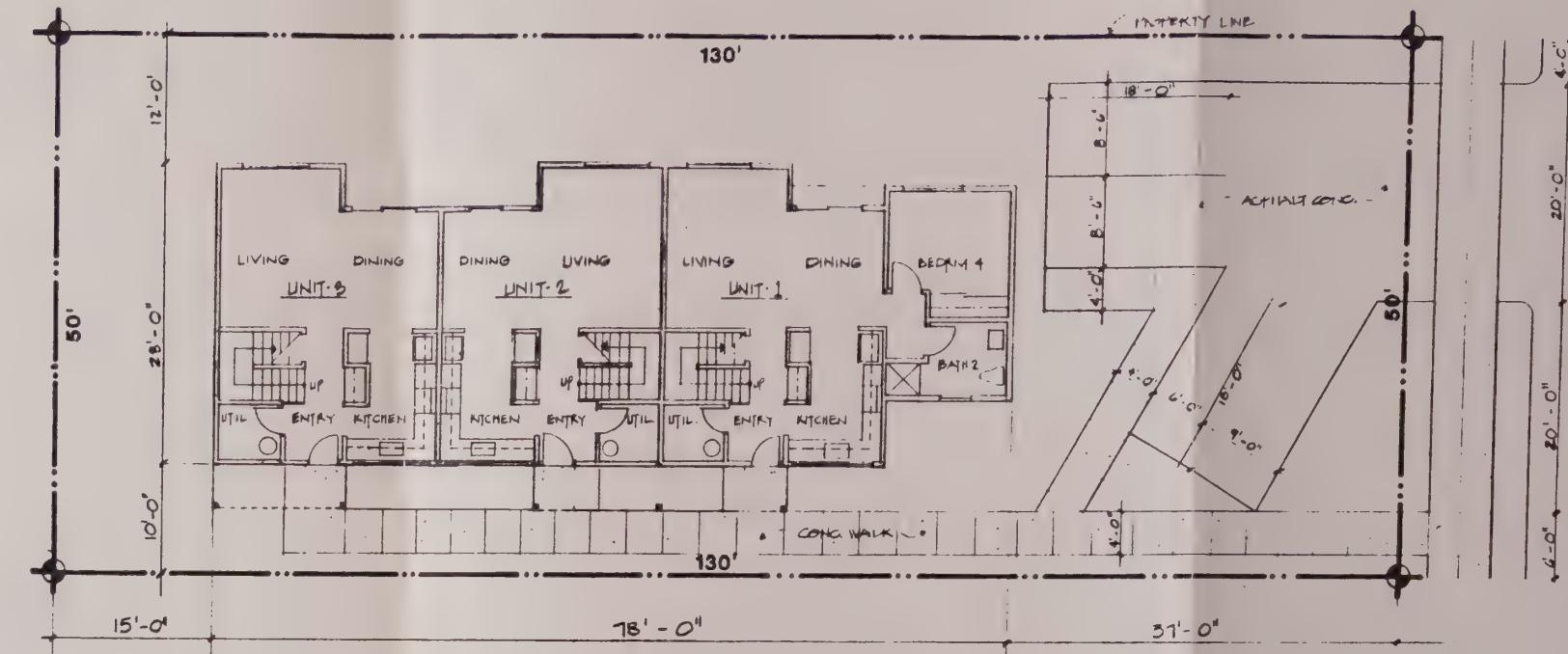
VISIONS

2922 ABILINE STREET, BURBANK, CALIFORNIA 91503 (424) 845-2455

כינור עליון

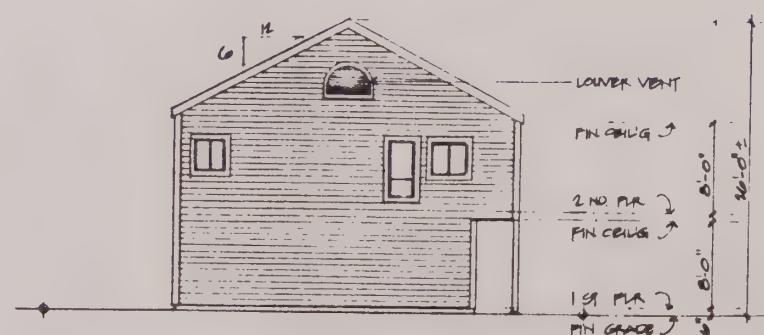
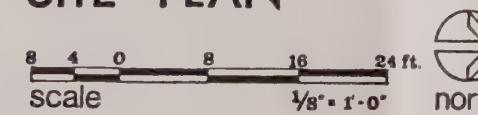
## Program

FAIRVIEW

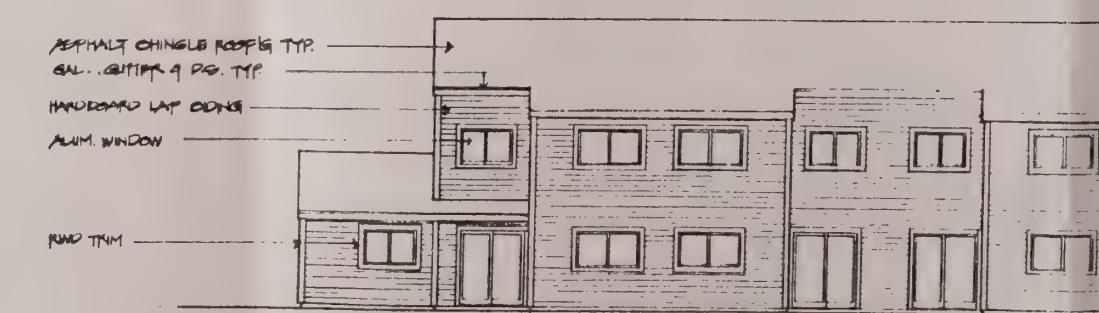


# FIRST FLOOR PLANS SITE PLAN

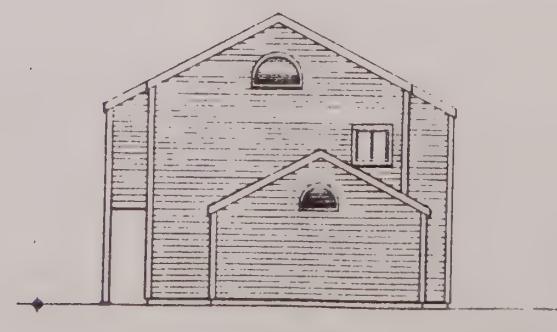
1812 FAIRVIEW



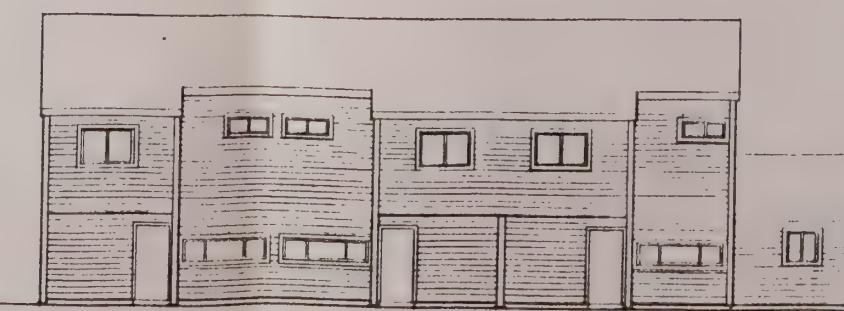
SOUTH ELEVATION



**WEST ELEVATION**



**NORTH ELEVATION**



## EAST ELEVATION

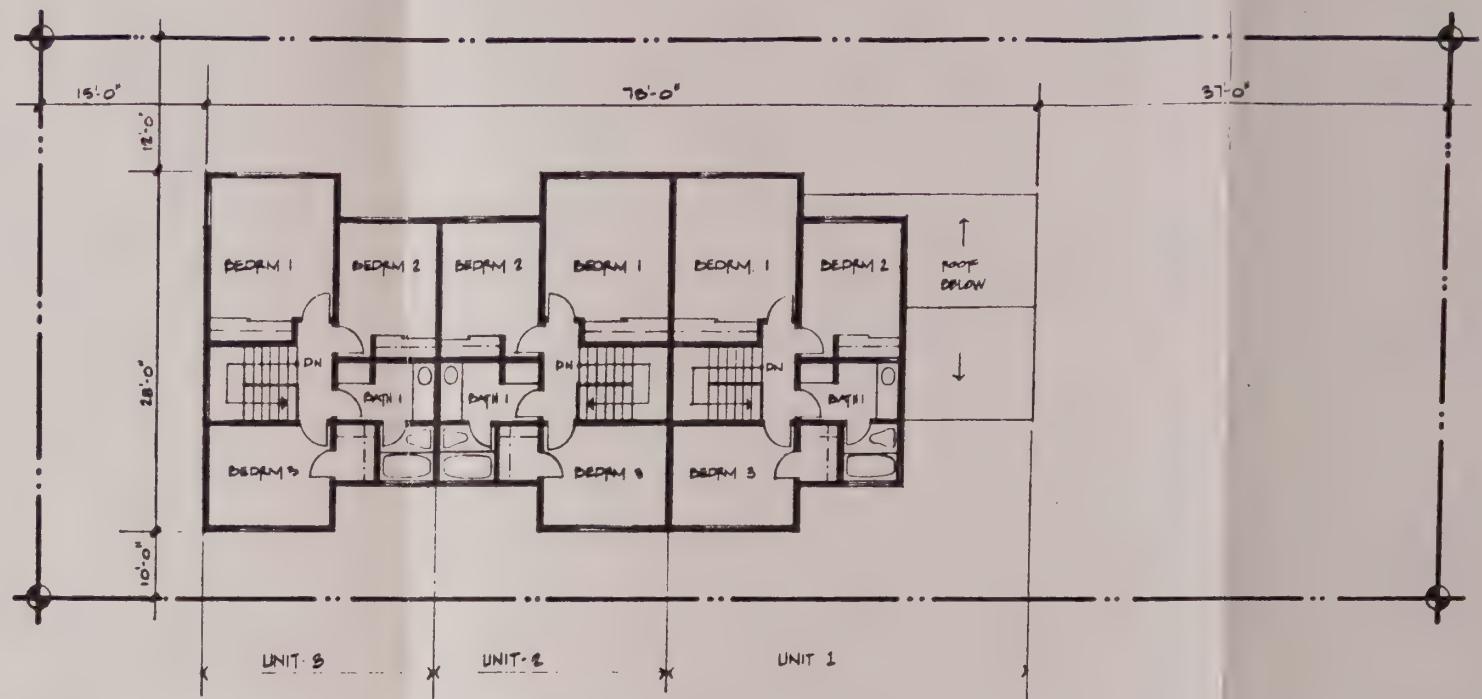


REVISIONS  
HARRY K. LIM - ARCHITECT & ASSOCIATES  
2072 ACREME STREET, BERKELEY, CALIF. 94710



City of Berkeley

Rental  
Housing  
Construction  
Program



### SECOND FLOOR PLANS

scale 4 0 8 16 24 ft.

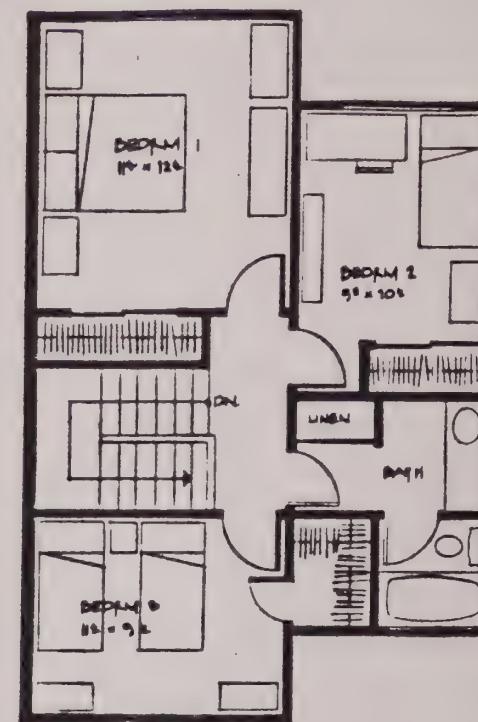
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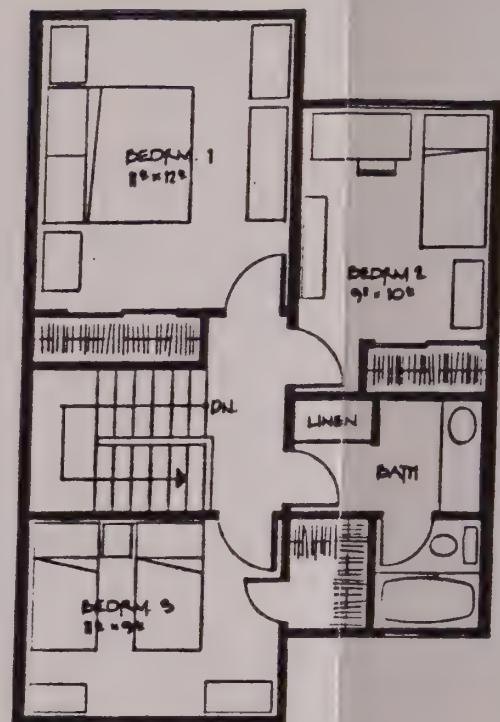
north

1812 FAIRVIEW

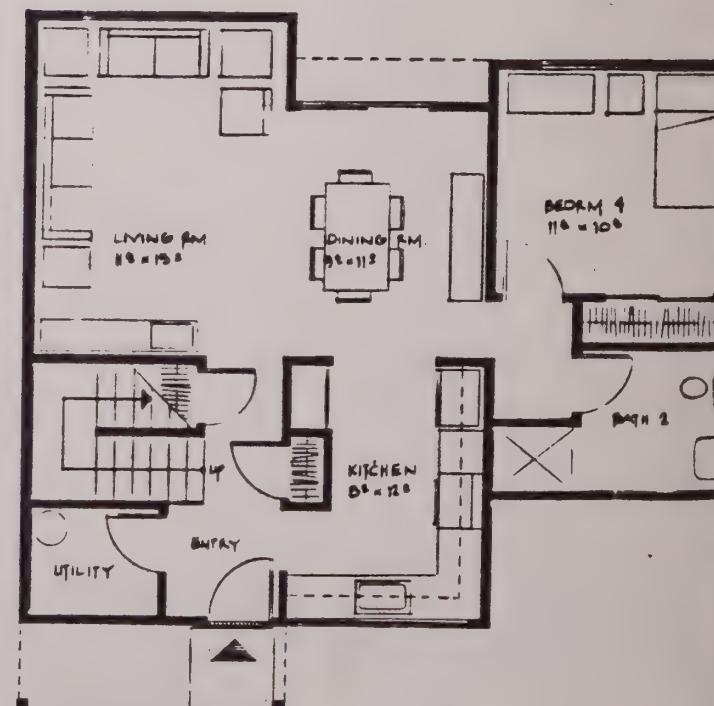




SECOND FLOOR PLAN



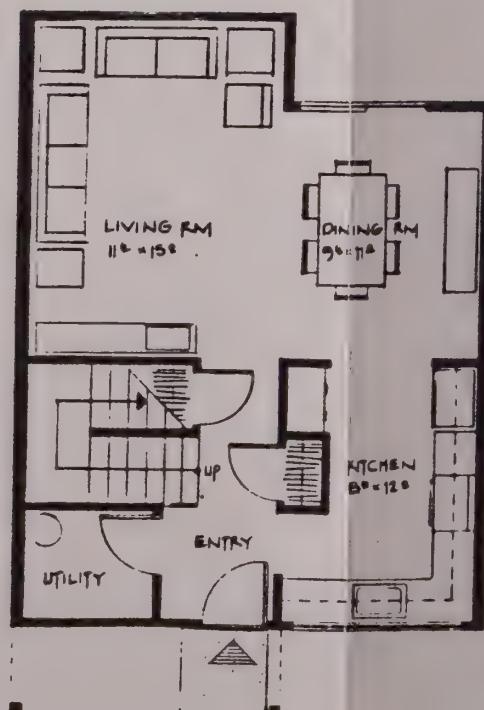
SECOND FLOOR PLAN - TYP.



FIRST FLOOR PLAN - 4 DR. UNIT

SCALE : 1/4" = 1'-0"

UNIT #1  
GROSS AREA: 1875 S.F.



FIRST FLOOR PLAN - 3 DR. UNIT - TYP.

SCALE : 1/4" = 1'-0"

UNITS : #3 - UNIT #2 OPP. HAND  
GROSS AREA: 1160 S.F./UNIT

1812 FAIRVIEW

Rental  
Housing  
Construction  
Program

HARRY K LIM ARCHITECT & ASSOCIATES  
2772 AURORA STREET, ALEXANDRIA, VA 22314



City of Berkeley

0154

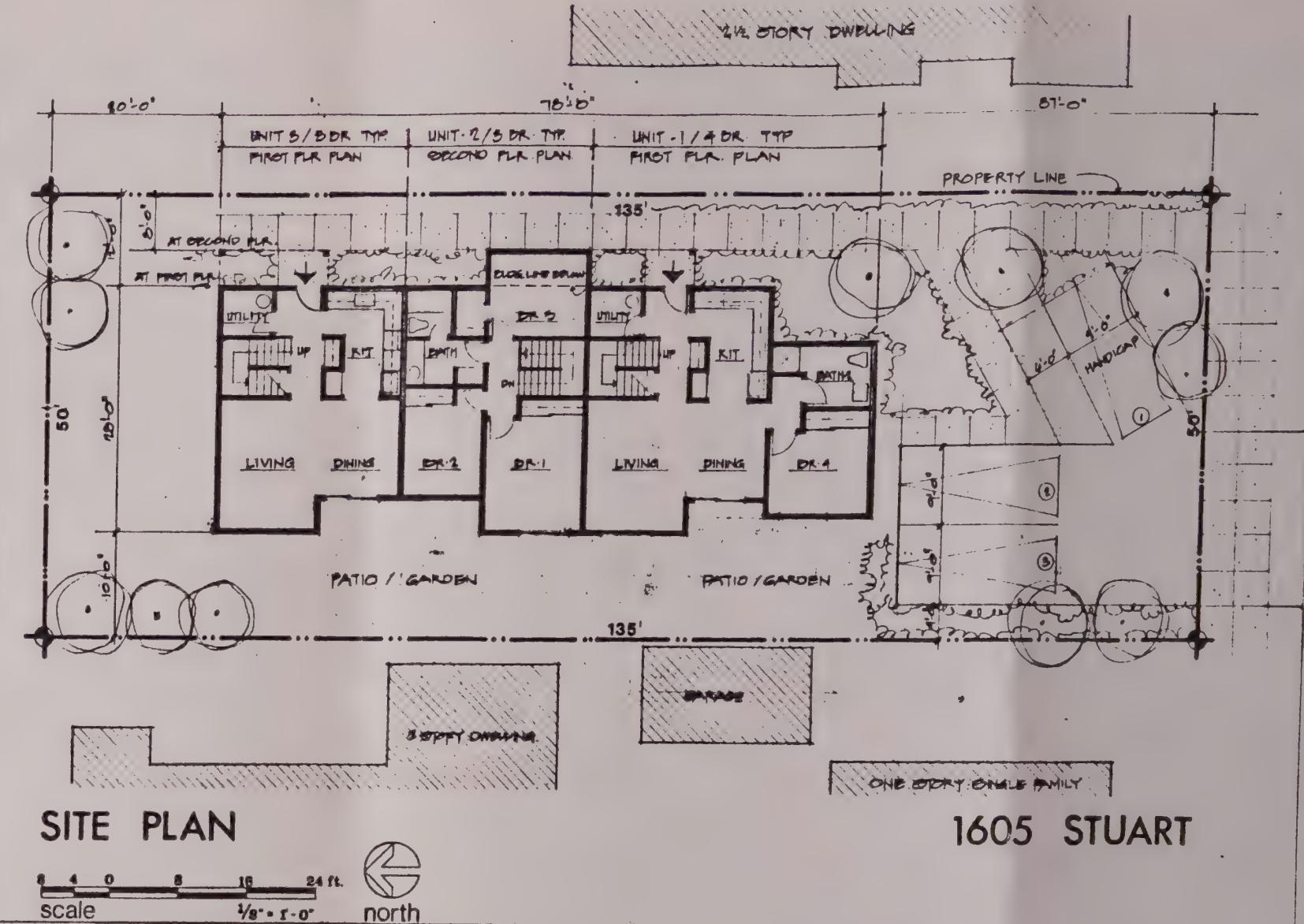
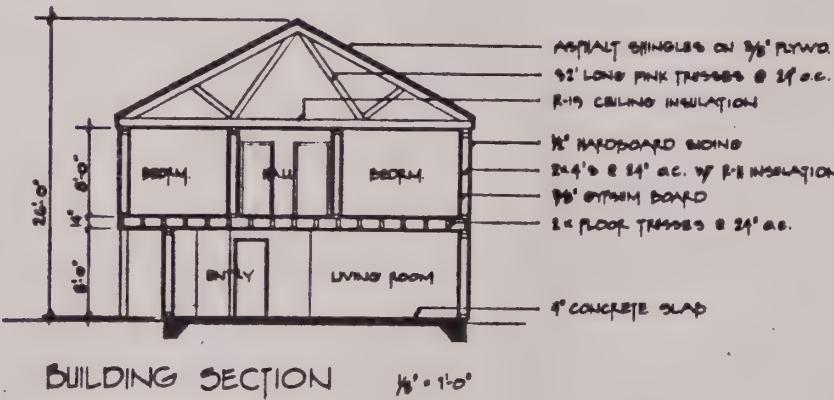
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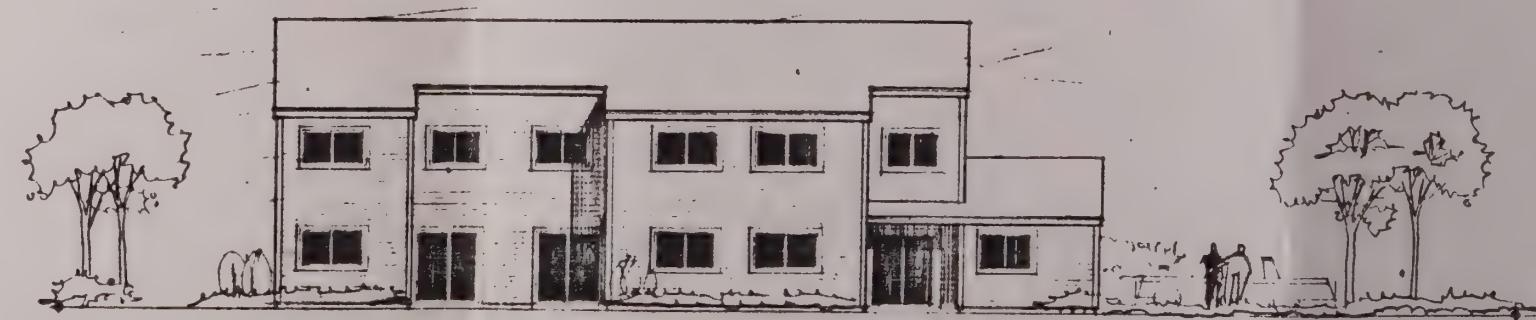




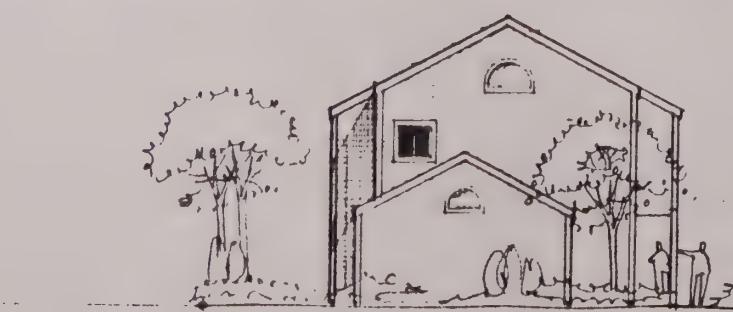
PERSPECTIVE



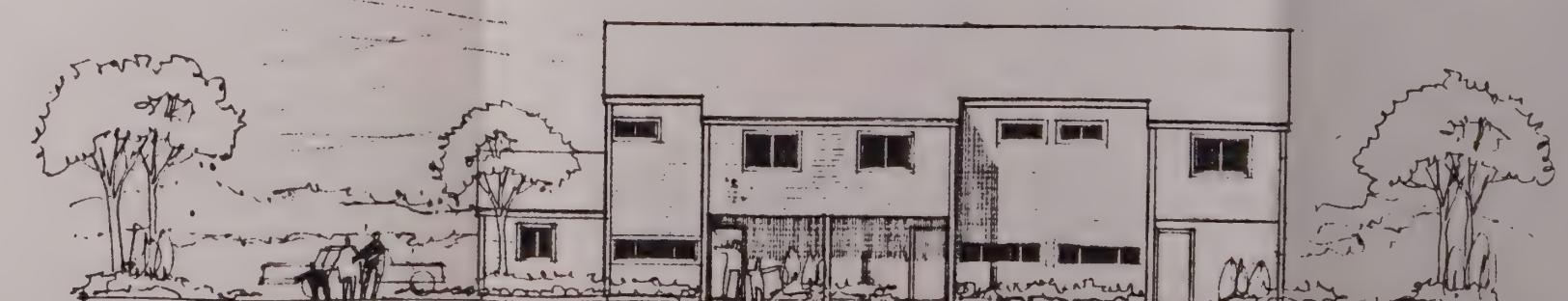
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

Dental  
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HARRY K. LIM • ARCHITECT & ASSOCIATES  
2972 ACORN STREET, BERKELEY, CA 94703 (415) 845-7455

REVISIONS  
8134  
1/8" = 1'-0"  
Date  
Rev. No.  
12.28.81  
1  
4 Sheets



100

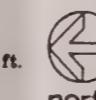
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City of Berkeley

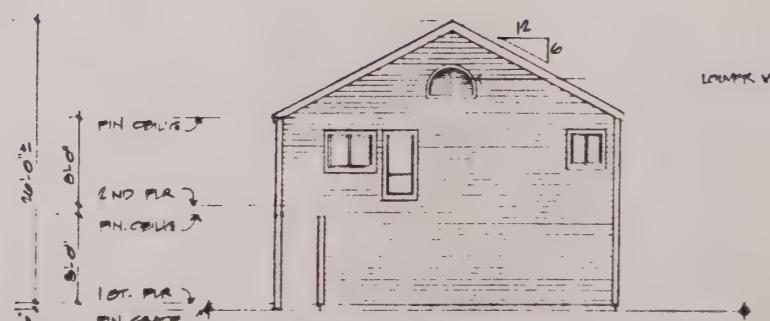
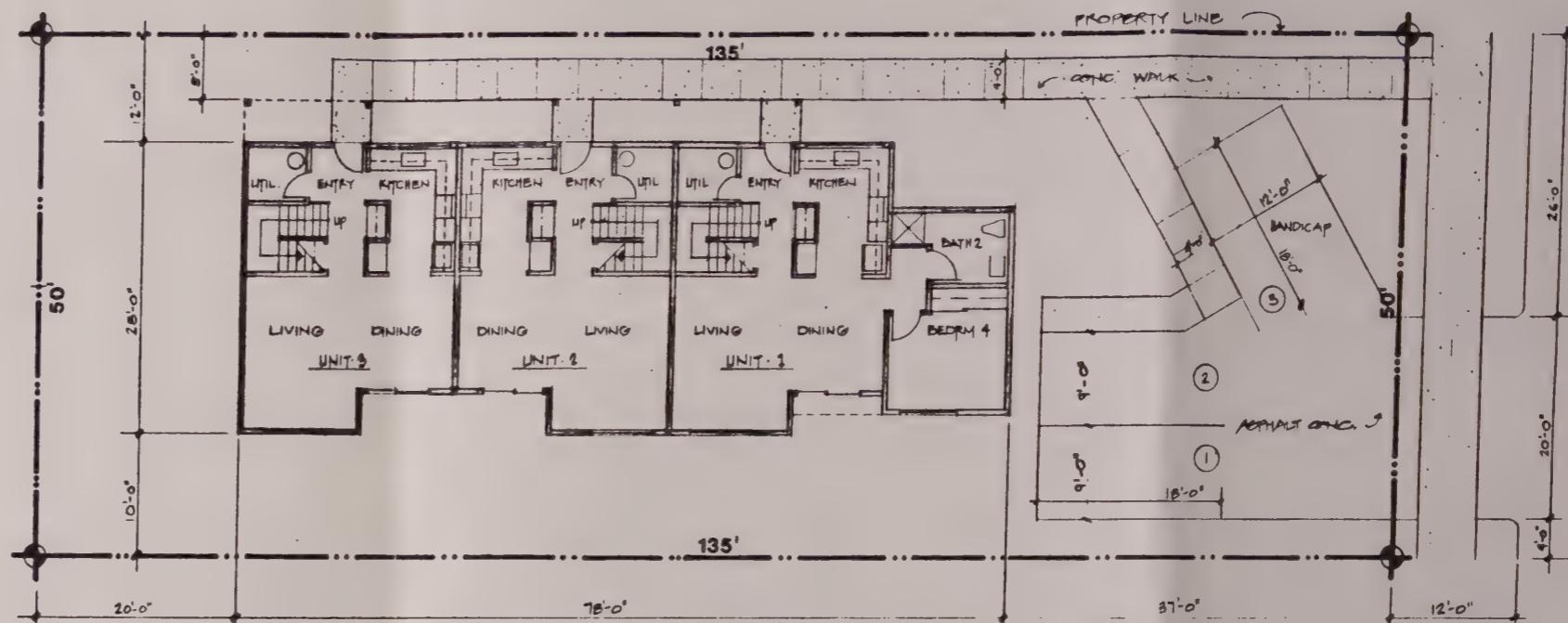
Capital  
Housing  
Construction  
Program

**FIRST FLOOR PLANS  
SITE PLAN**

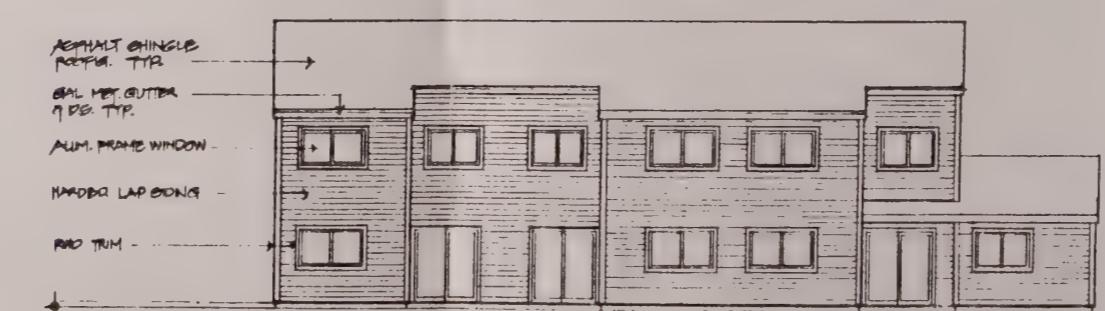
**1605 STUART**



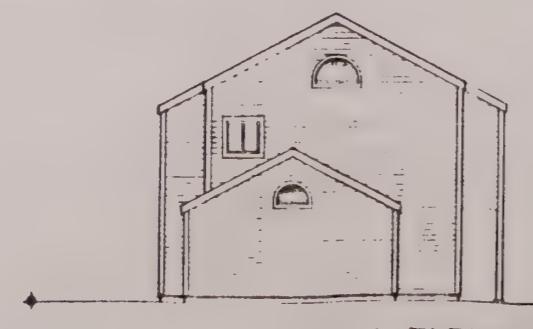
A scale bar with markings at 8, 16, and 24 inches. The word "scale" is written below the bar.



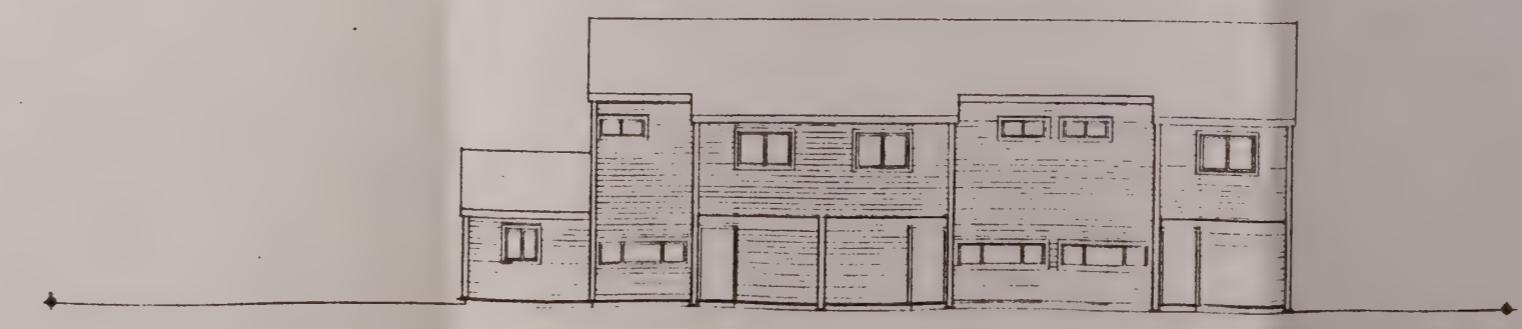
**NORTH ELEVATION**



**WEST ELEVATION**



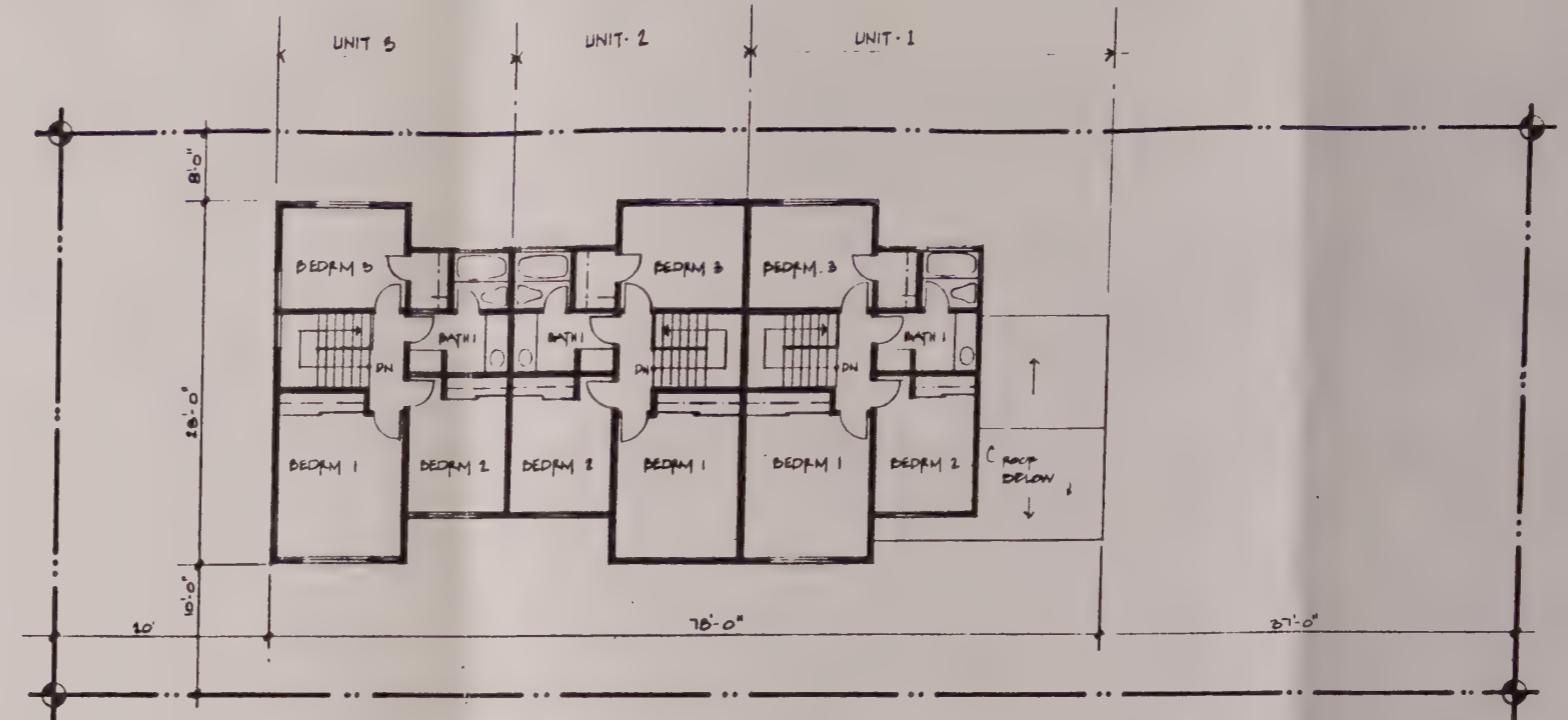
SOUTH ELEVATION



**EAST ELEVATION**

Job	8134
Scato	
Drown	
Date	1-6-82
Sheet	2





## **SECOND FLOOR PLANS**

A scale bar marked from 8 to 24 inches in increments of 4. Below it is the word "scale".



1605 STUART

Rental  
Housing  
Construction  
Program

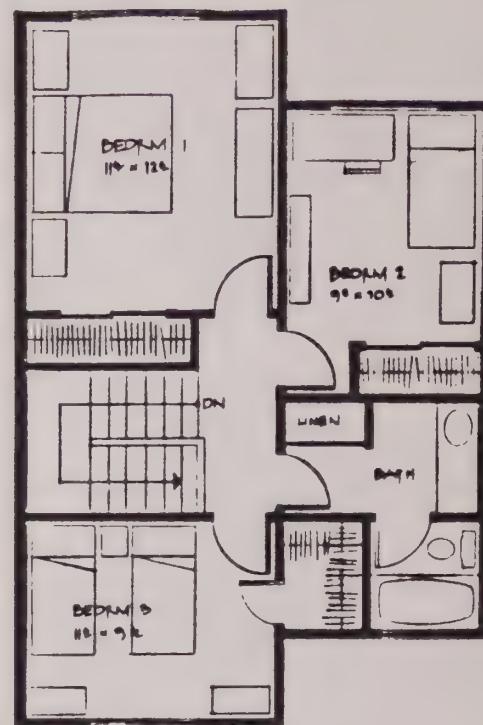
HARRY K. LIM • ARCHITECT & ASSOCIATES  
2072 Avenue of the Americas, New York, N.Y. 10019 (212) 586-2355



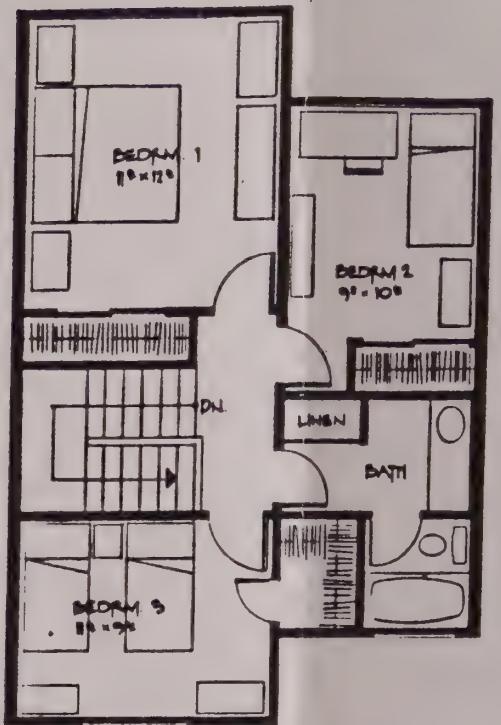
City of Berkeley

REVIEWS

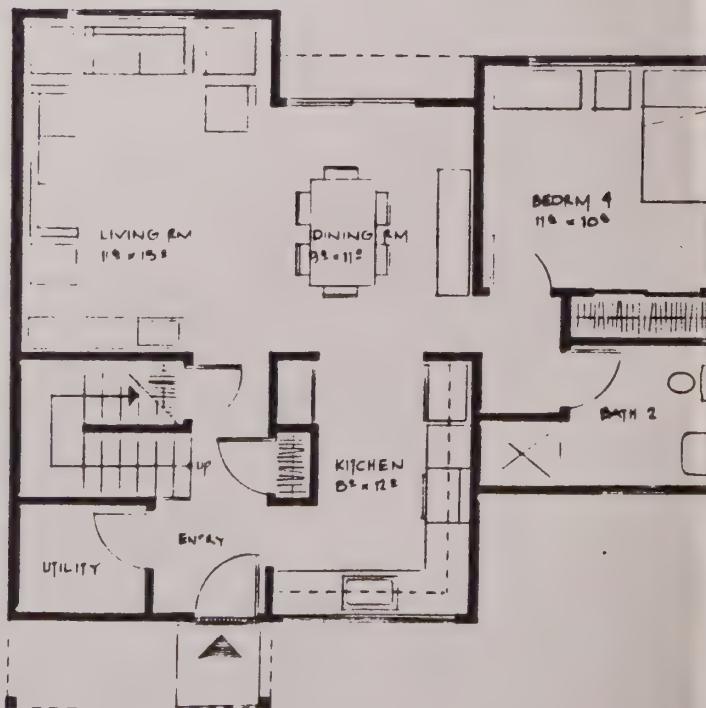




SECOND FLOOR PLAN



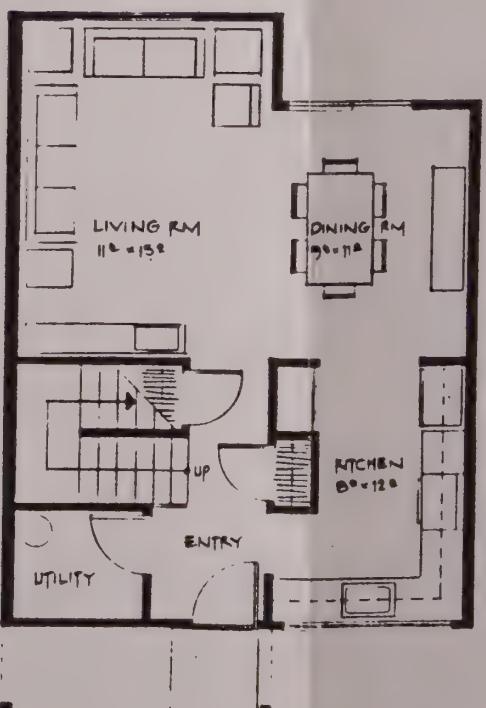
SECOND FLOOR PLAN - TYP.



FIRST FLOOR PLAN - 4 BR UNIT

SCALE : 1/4" - 1'-0"

UNIT #1  
GROSS AREA : 1575 SF



FIRST FLOOR PLAN - 3 BR UNIT - TYP.

SCALE : 1/4" - 1'-0"

UNIT #3 - UNIT #2 OPP HAND  
GROSS AREA : 1150 SF / UNIT



**City of Berkeley**

**1605 STUART**      Rental Housing Construction Program

-	0134
DATE	
TIME	
DATE	1-6-92
TIME	
4	

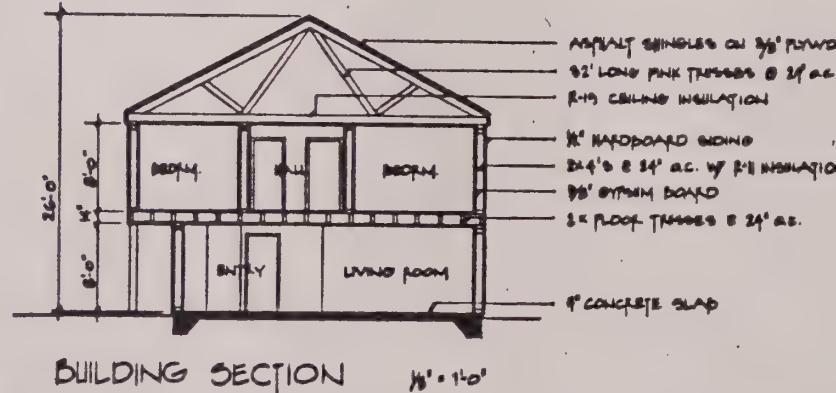




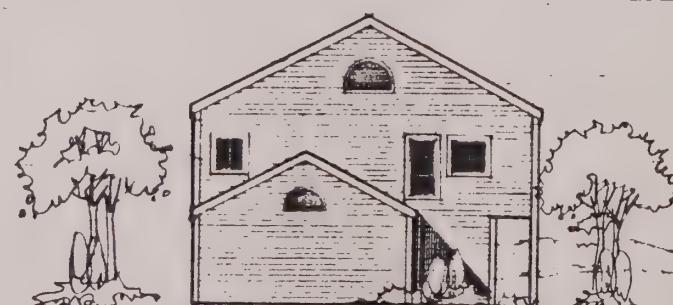
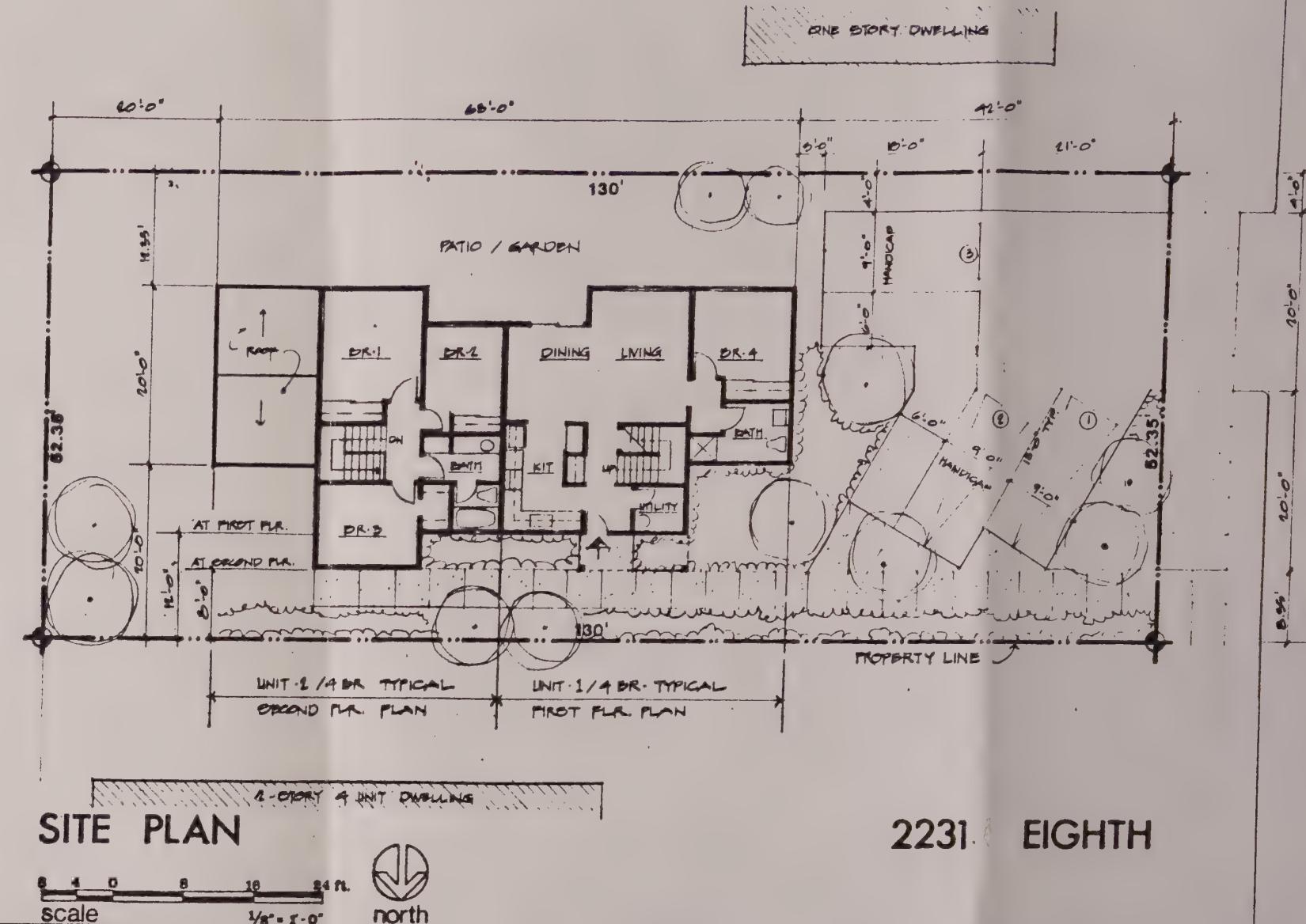
City of Berkeley

Rental  
Housing  
Construction  
Program

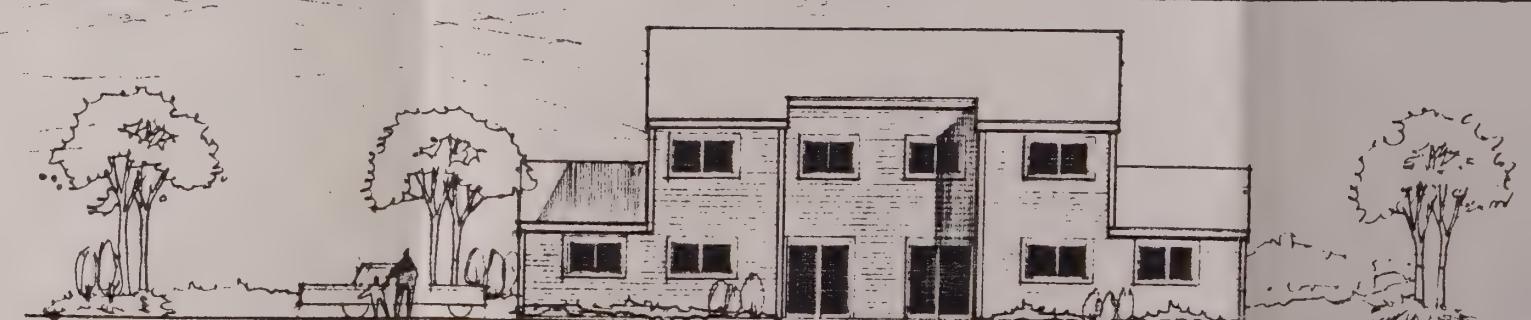
PERSPECTIVE



BUILDING SECTION 11'-0"



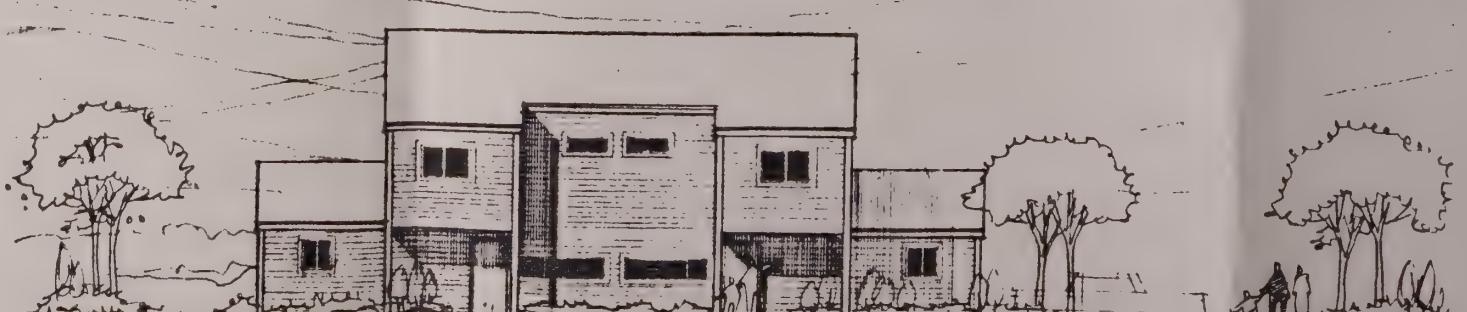
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

1	B134
1	1/8"-1'-0"
1	12-20-81





HARRY K. LIM - ARCHITECT & ASSOCIATES

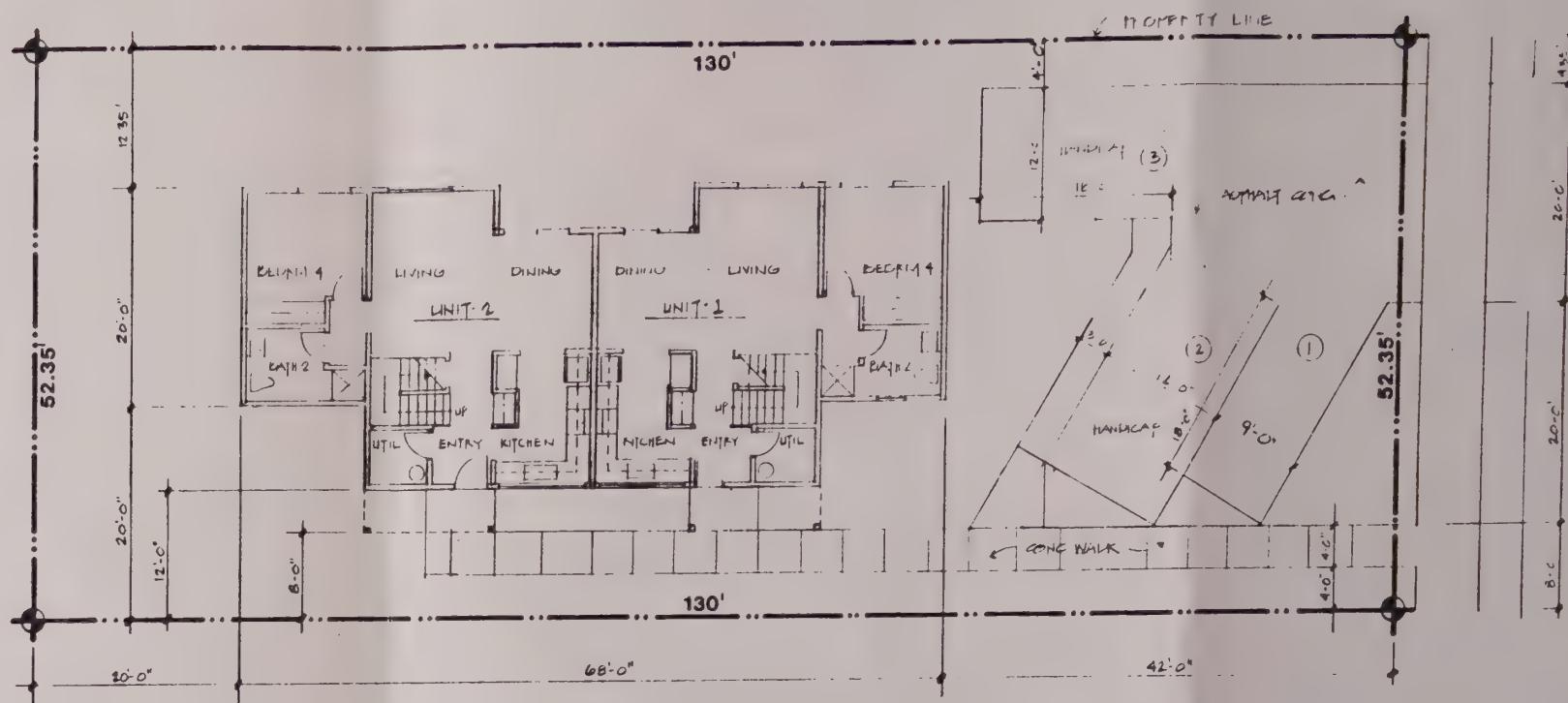


CITY OF BERKELEY

Rental  
Housing  
Construction  
Program

0.244  
Scale  
Drawn  
Date 1-6-82  
Sheet 1  
2  
a 4

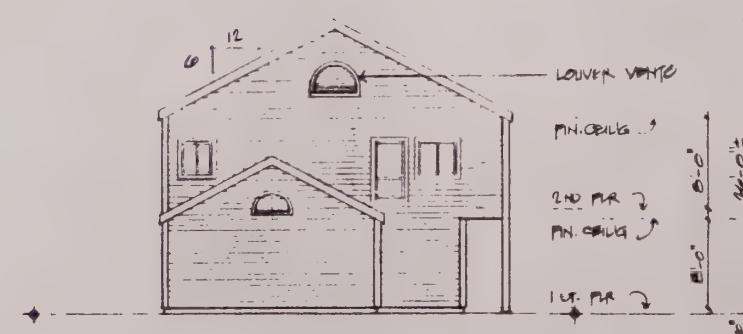
## EIGHTH ST.



## FIRST FLOOR PLANS SITE PLAN

2231 EIGHTH

scale 8 4 0 8 16 24 ft.



EAST ELEVATION

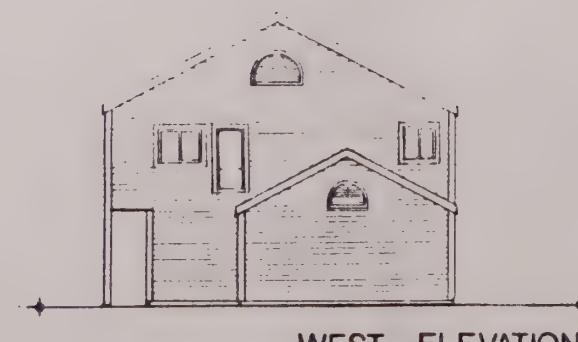
ASPHALT SHINGLE ROOF TYP.  
GAL. MET. GUTTER & DS. TYP.

ALUM. FRAME WINDOW TYP.

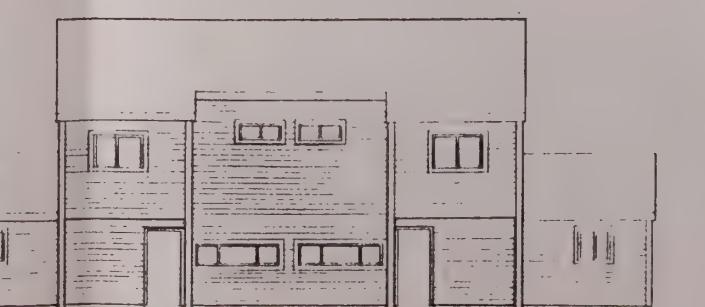
HARVEY LAP SIDING TYP.  
PINE TRIM



SOUTH ELEVATION

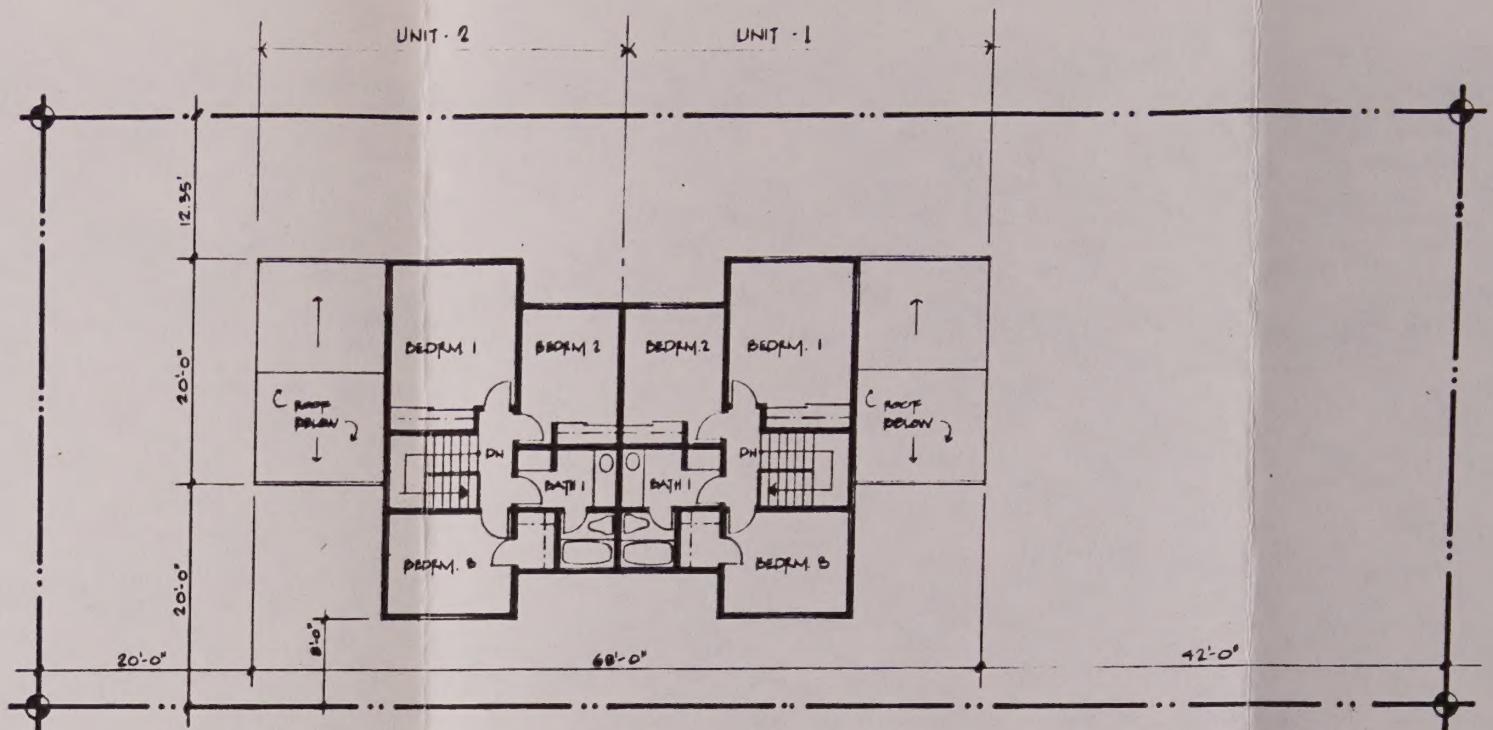


WEST ELEVATION



NORTH ELEVATION





## SECOND FLOOR PLANS

scale  
1/8" = 1'-0"



north

2231 EIGHTH

Rental  
Housing  
Construction  
Program

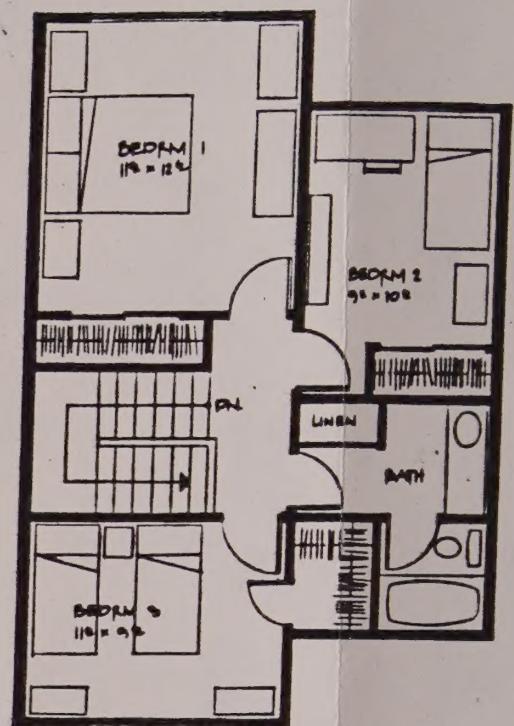
HARRY K. LIN - ARCHITECT & ASSOCIATES  
2072 ACORN STREET, BERKELEY, CA 94710  
MCS BAS-7-PMS



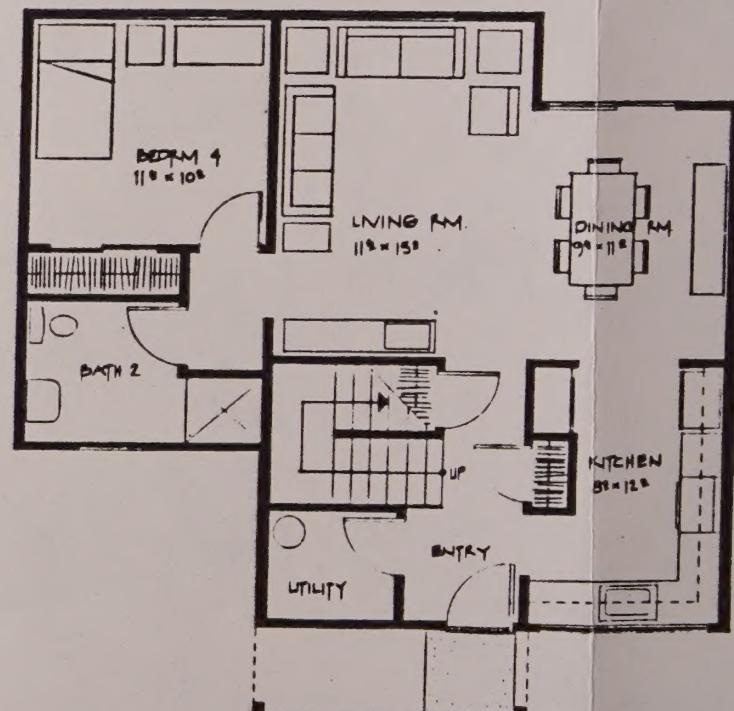
City of Berkeley

	8124





SECOND FLOOR PLAN - TYP.



FIRST FLOOR PLAN - 4 BR. UNIT - TYP.

SCALE : 1/4" = 1'-0"

UNIT #2 - (UNIT #1 OPP. HAND)  
GROSS AREA : 1875 S.F./UNIT

2231 EIGHTH  
Rental  
Housing  
Construction  
Program

City of Berkeley

HARRY K LIM ARCHITECT & ASSOCIATES  
2972 ACORN STREET, BERKELEY, CALIF. 94710 445-2433

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